



CULVER CITY
UNIFIED SCHOOL DISTRICT



El Marino Language School

NATIONAL BLUE RIBBON SCHOOL

New Classroom Buildings & Modernization

EL MARINO LANGUAGE SCHOOL PROGRAM BOOKLET



APRIL 2025



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1. PROJECT TEAM

District:

Culver City Unified School District

4034 Irving Place,
Culver City, CA 90232
Phone : (310) 842-4220

Project Location:

El Marino Language School

11450 Port Rd.,
Culver City, CA 90230
Phone : (310) 842-4241

Program Manager:

Telacu Project Management

604 N Eckhoff St, Orange, CA 92868
Phone : (714) 541-2390

Architect:

tBP/Architecture,

4611 Teller Ave.,
Newport Beach, CA 92620
Phone : (949) 673-0300.

Mechanical, Plumbing, Fire Sprinkler Engineering:

Pocock Design Solutions

5000 E Spring St 8th floor,
Long Beach, CA 90815
Phone : (562) 497-2999

Structural Engineer:

VCA Engineers

1845 W Orangetown Ave #200,
Orange, CA 92868
Phone : (714) 978-9780

Civil Engineers:

FPL and Associates, Inc.

30 Corporate Park, Suite 401
Irvine, CA. 92606
Phone : (949)-252-1688

Electrical, Technology Engineering:

P2S Engineers

14451 Chambers Road, Suite 210,
Tustin, CA 92780
Phone : (949) 417-3903

Landscape Architects:

Cornerstone Studios

951 E Santa Ana Blvd.,
Santa Ana, CA 92701
Phone : (714) 973-2200



2. PROJECT NARRATIVE

Architecture - Executive Summary

Introduction:

With the passage of Measure M the Culver City Unified School District embarked on engaging architects to bring to fruition Phase 1 projects outlined in the District's Facility Master Plan. The Master Plan was developed and approved by the Board in 2023. The District-wide Master Plan and Educational Specifications (design guidelines) are to be used as a strategic road map for the future.

The Phase 1 work scope that was identified in the Facilities Master Plan for the El Marino Language School was as follows:

1. Construct a new two-story building with twelve classrooms. Include small support spaces for pull-out programs. Include restrooms, storage, mechanical, custodial, elevator, and stairs.
2. Keep existing relocatable classrooms in place to use as swing space for classroom modernizations.
3. Modernize existing classrooms.

The tBP/Architecture team was hired to accomplish a programming document that reflects the Phase 1 scope of work. During the process we changed the supposition that we would build a 2-story building and arrived at building two new single-story buildings. The following document outlines the programming effort.

History:

The original El Marino Language School was constructed 1952 and consisted of 7 buildings. The school layout organization reflects a planning model of that era referred to as a finger plan school. The school was originally built as a neighborhood school that served K-5 students. Directly adjacent to the school on District property was a special program called Culver City Independent School, run by CCUSD. In 1990 buildings 8-11 were added. El Marino re-opened in 1994, after being closed due to declining enrollment to house the two District's Language Immersion programs, the Spanish Immersion Program [SIP] and the Japanese Immersion Program [JIP]. The Culver City Independent School program was shuttered and their 4 buildings have become incorporated into the Elementary Schools support facilities. Four portables were added to the site in 2000.

2. PROJECT NARRATIVE

Architecture - Executive Summary

Site:

The site consists of a 7.3 acre parcel that sits adjacent to Culver City's El Marino Park. The park supports play areas and a grass park area and is supported with a public restroom and a community center building. The park is separated from the school site by a fence.

Within the 7 acres there are 12 permanent buildings and 5 additional relocatable buildings that house a 823 student population to serve OCD, and TK-5 grade levels. The site supports two staff parking areas that in total accommodate 27 parking spaces. A unique feature of the site is that the hardcourts and turfed areas are utilized by and open to the community on the weekends. To accommodate this feature, the school plant is fenced off from the play areas.

El Marino Language School Virtual tour link : <https://my.matterport.com/show/?m=C2ixT8CB6Nr>

Process:

The process to develop these programming documents detailing work to be accomplished on this school site, has been an extremely open process guided by a design committee consisting of the school's Principal, teachers, parents, District staff and the program manager, Telecu construction. To date there have been 4 meetings with the committee. The work that was accomplished used an iterative process of asking questions, creating plan exhibits, critiquing the plan exhibits, refining them and developing them into what is demonstrated in this document.

The process began with an assessment team of who walked the site (architect, electrical, mechanical, plumbing, structural, and civil engineers) with District representatives to ascertain the efficacy of the current buildings and their instructional environments. The team toured each building, reviewed the District's plan documents, reviewed the EMG corporation's Facility Condition Report completed in February of 2019, took photographs and put together a specific narrative that describes each of the building systems and their expected life spans.

Program:

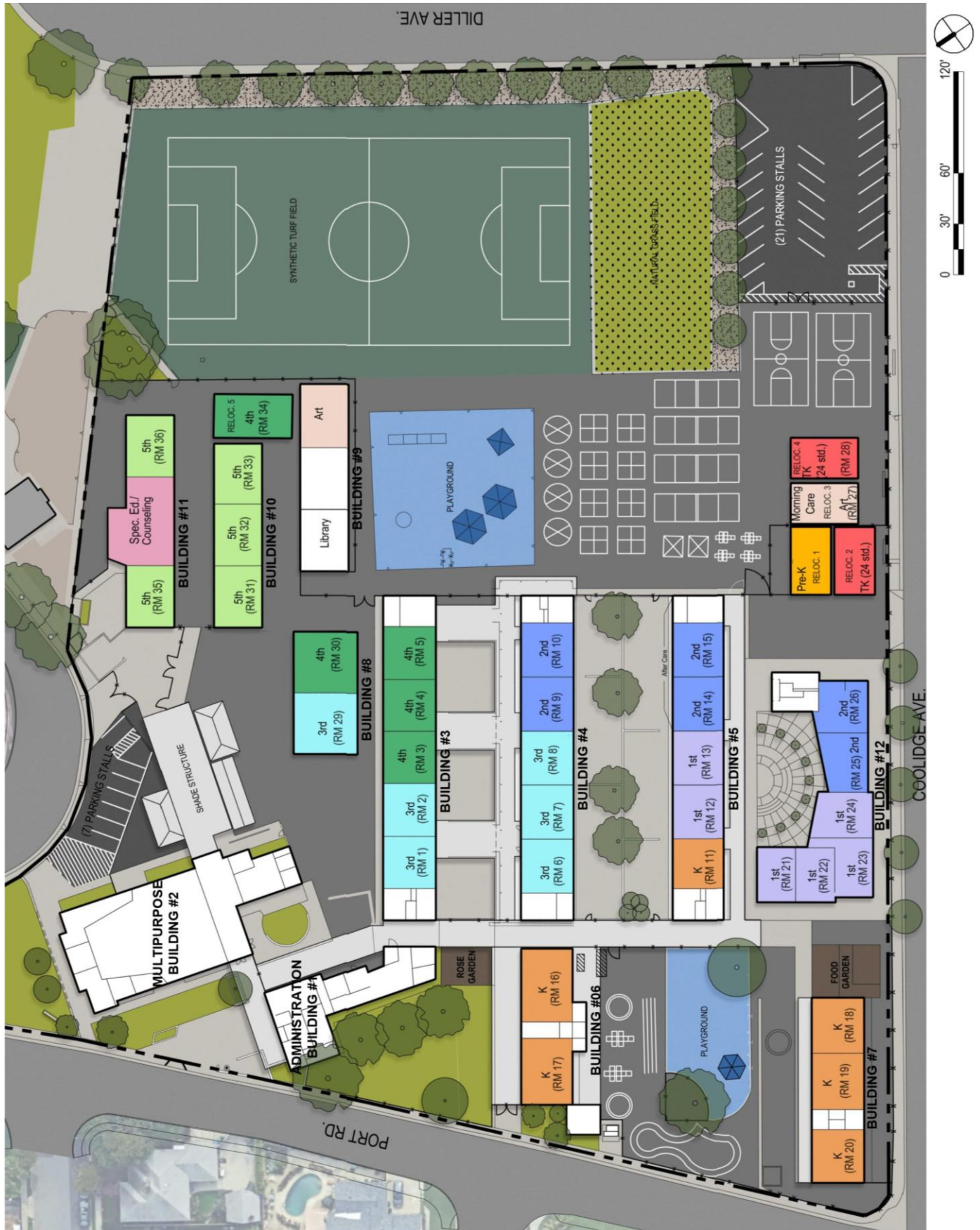
The current school enrollment from the California Department of Education indicates that the schools serves 823 students. The District standards for grade level enrollment indicate that TK serves a maximum of 20 students per classroom, Kindergarten through 3rd grade serve a maximum of 24 students per classroom, and the remaining 4th and 5th grade classrooms serve 28 students per classroom. The pre-school program is called the Office of Child Development or OCD. The site is licensed to accommodate 24 students. The maximum number of OCD students to be accommodated in an OCD classroom is 24. The site also runs an after school and before school program that supports the TK-5th grade students. The before and after care program shares all existing facilities.



3. PROJECT SCHEDULE

CULVER CITY USD El Marino Language School																															
		2024		2025				2026				2027				2028															
		S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D		
Start Date : 10/1/2024																															
Schematic Design	2 months																														
Design Development	3 months																														
Construction Document	4.5 months																														
DSA Review/Approval	7 months																														
Bidding	3 months																														
Construction Phase	15 months																														
Project Close-out	3 months																														

4. EXISTING CAMPUS PLAN

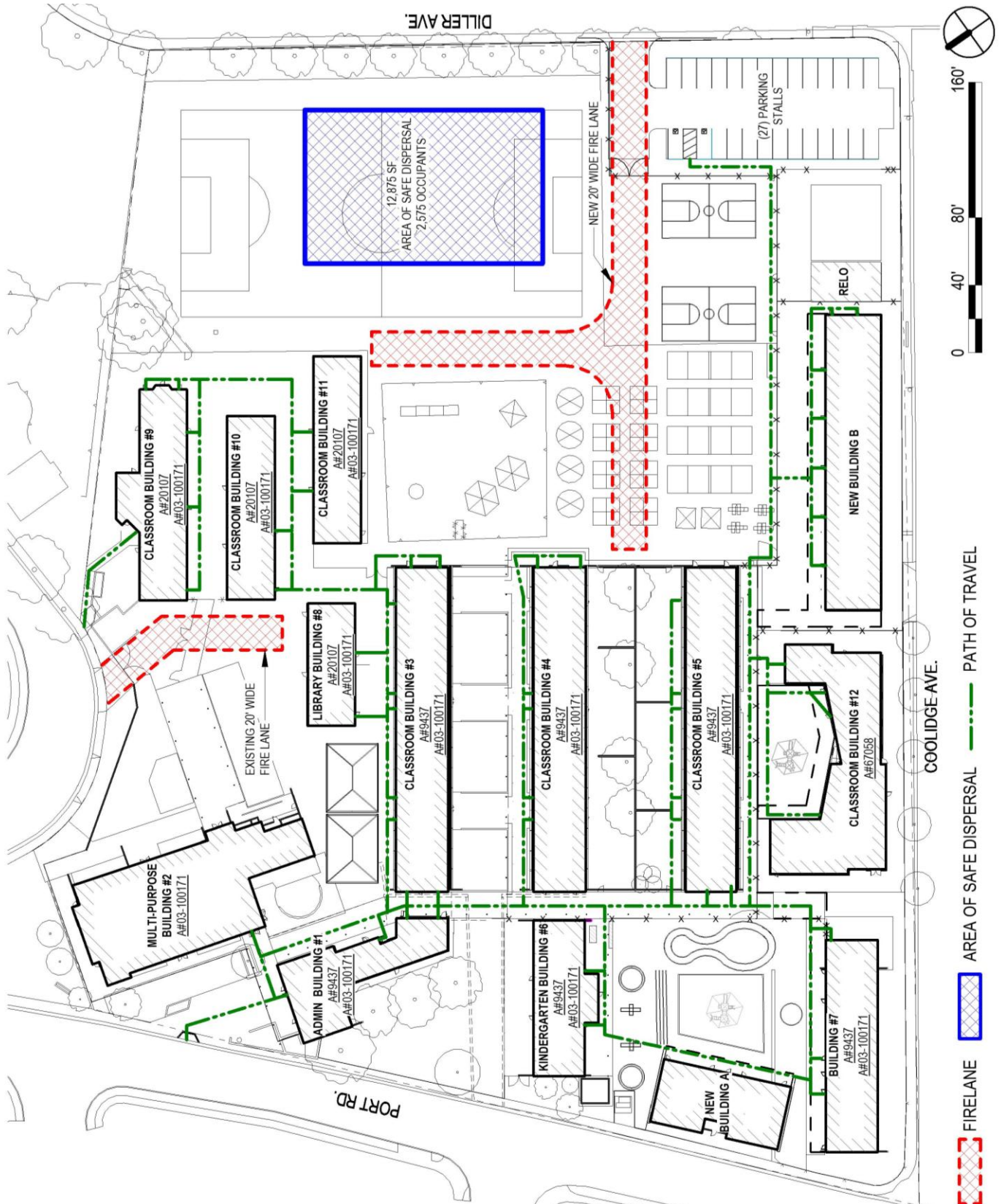


5. NEW CAMPUS PLAN



6. CODE ANALYSIS SITE PLAN

Fire access lane | Safe dispersal area | Path of travel



7.1 PROGRAM SUMMARY

Enrollment and number of classrooms

EL MARINO Language School								
Grade	Enrollment 2024 - 25	Number of students per CR	Total Number of CR required per Current Enrollment	Number of Existing CR	Number of additional CR needed based on Current Enrollment	Total Number of CR for the future	Notes	Total student capacity in CR
OCD	23	1:24	1	1		1	Located in portable.	24
TK	47	1:20	3	2	1	3		60
K	119	1:24	5	6	-1	5		120
Grade 1	134	1:24	6	6		6		144
Grade 2	132	1:24	6	6		6		144
Grade 3	135	1:24	6	6		6		144
Grade 4	119	1:28	5	5		5		140
Grade 5	114	1:28	5	5		5		140
Spec. Ed.	0		1	1		1		0
Art			2	2		2		
	823		40	40	0	40		916

7.2 BUILDING PROGRAMS

NEW CLASSROOM BUILDING A				
Room Name	Quantity	ASF	Total ASF	Notes
Kindergarten classroom	2	1,350	2,700	
- Restroom	2			Part of the classroom, (1) per classroom or, (2) can be shared by 2 classrooms, direct access from the classroom
- Communal handwash area	1			Part of the classroom, handsink in the restroom or, (2) handsink in common handwash area shared by 2 classrooms, direct access from the classroom
- Teacher work space	1			Part of the classroom, shared by 2 classrooms, direct access from the classroom
- Storage	1			Part of the classroom/ shared by 2 classrooms
Electrical/ Data	1	100	100	
Total			2,800	
NEW CLASSROOM BUILDING B				
Room Name	Quantity	ASF	Total ASF	Notes
Regular Classroom	5	960	4,800	
Occupational Therapy	1	200	200	
Speech Therapy	1	200	200	
Teacher Workroom	1	300	300	
Electrical/ Data	1	100	100	
Total			7,900	
MODERNIZATION				
Room Name	Quantity	ASF	Total ASF	Notes
Building #7				
Kinder classroom	1	1,350	1,350	
TK classroom	1	1,350	1,350	
- Restroom	2			Part of the classroom, (1) per classroom or, (2) can be shared by 2 classrooms, shared with TK, direct access from the classroom,
- Communal handwash area	1			Part of the classroom, handsink in the restroom or, (2) handsink in common handwash area shared by 2 classrooms, direct access from the classroom
- Teacher work space	1			Part of the classroom, shared by 2 classrooms, direct access from the classroom
- Storage	1			Part of the classroom/shared by 2 classrooms
Office	2	135	270	
Office	1	223	223	
Total			3,193	
Building #12				
TK classroom	2	1,542	3,084	
- Restroom	2			Part of the classroom, (1) per classroom or, (2) can be shared by 2 classrooms, direct access from the classroom
- handwash area	1			Part of the classroom, handsink in the restroom or, (2) handsink in common handwash area shared by 2 classrooms, direct access from the classroom
- Teacher work space	1			Part of the classroom, shared by 2 classrooms, direct access from the classroom
- Storage	1			Part of the classroom/ shared by 2 classrooms
Art	2	940	1,880	
Restrooms	2	283	566	
Total			5,530	



9. OUTDOOR PLAY AREA JUSTIFICATION



OUTDOOR ACTIVITY SPACE FOR KINDER

RECOMMENDED
(75sf per child)

(6) KINDER x 24 = 144 children
(2) TK x 20 = 40 children
Total 184 children

184 children x 75 sf = **13,800 sf**
PROPOSED - 10,200 sf

OUTDOOR ACTIVITY SPACE FOR OCD

REQUIRED
(75sf per child)

(2) OCD x 24 = 48 children
48 children x 75 sf = **3,000 sf**
PROPOSED - 3,000 sf

10. COST ESTIMATE

Description	Quantity	Unit	Unit Cost	Subtotal	Total
Phase 1					
<u>New Building Construction</u>					
New Building "A"	2,816	sf	1,000.00	2,816,000	
Building "A" Covered Walk	679	sf	350.00	237,650	
New Building "B"	4,793	sf	1,000.00	4,793,000	
Building "B" Covered Walk	2,262	sf	350.00	791,700	
Total New Building Const.	<i>(Nov. 2024 Budget: \$12,960,000)</i>				8,638,350
<u>Building Modernizations</u>					
Building #3 (Refresh)	5,542	sf	350.00	1,939,700	
Building #4 (Refresh)	5,475	sf	350.00	1,916,250	
Building #5 (Refresh)	5,475	sf	350.00	1,916,250	
Building #6 (Refresh)	2,854	sf	350.00	998,900	
Building #7 (Extensive)	3,193	sf	550.00	1,756,150	
Building #8 (Refresh)	1,950	sf	350.00	682,500	
Building #9 (Refresh)	2,873	sf	350.00	1,005,550	
Building #10 (Refresh)	2,853	sf	350.00	998,550	
Building #11 (Refresh)	3,741	sf	350.00	1,309,350	
Building #12 (Extensive)	3,085	sf	550.00	1,696,750	
Building #12 (Refresh)	2,446	sf	350.00	856,100	
Relo OCD (Extensive)	960	sf	350.00	336,000	
Total Building Modernization	<i>(Nov. 2024 Budget: \$12,096,000)</i>				15,412,050
<u>Site Work</u>					
Large Shade Structure	2,573	sf	150.00	385,950	
Bldg. "A" Play Area	10,207	sf	60.00	612,420	
Additional Site Modernization	10,355	sf	55.00	569,525	
Exist. Relocatable Relocation		ls		30,000	
Building "A" Utilities		ls		350,000	
Building "B" Utilities		ls		500,000	
Total Site Work	<i>(Nov. 2024 Budget: \$1,000,000)</i>				2,447,895
Total Phase 1 Construction Cost	<i>(Nov. 2024 Budget: \$26,056,000)</i>				26,498,295
<u>Phase 2</u>					
New Building "B" EXANSION	968	sf	1,000.00	968,000	
Building "B" EXPANSION Covered Walk	313	sf	350.00	109,550	
Bldg. #7 Covered Walk	800	sf	350.00	280,000	
Bldg. #12 Covered Walk	1,139	sf	350.00	398,650	
Lunch Area Modifications	18,494	sf	50.00	924,700	
Outdoor Learning Env. #1	1,438	sf	85.00	122,230	
Outdoor Learning Env. #2	3,772	sf	85.00	320,620	
Bldg. #12 Play Areas	2,606	sf	60.00	156,360	
Relocated Play Area	6,887	sf	55.00	378,785	
New Parking	14,697	sf	80.00	1,175,760	
Additional Site Modernization	8,192	sf	55.00	450,560	
Total Phase 2 Work					5,285,215
Subtotal Phase 1 and 2 Construction Cost					31,783,510
Escalation (2 yr. @ 6%)	31,783,510	x	12%	3,814,021	
					35,597,531
Total Phase 1 and 2 Constrution Cost					35,597,531

11.1 CONSULTANT'S ASSESSMENT

Structural

Subject: STRUCTURAL ASSESSMENT AND STRUCTURAL BASIS OF DESIGN
OF PROPOSED MODERNIZATION AT
EL MARINO ELEMENTARY SCHOOL
11450 PORT RD
CULVER CITY, CA 90230

Date: FEBRUARY 16, 2025



Prepared by:

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A. INTRODUCTION

VCA Engineers has visited the site to provide visual observation of the school site for general conditional survey of the existing structures at El Marino Elementary School to support the proposed Architectural and HVAC Modernizations.

This report supplements the architectural and mechanical, electrical, and plumbing (MEP) report and drawings. It is our understanding that the initial scope of this project consists of HVAC upgrades and minor architectural improvements.

Basis of Structural Design is prepared as a part of the assessment for future design use for the rehabilitation. Structural evaluation of the buildings is not a part of this report.

Partial as-built drawings were available and a site visit was conducted to inform the preparation of this condition survey report and develop Basis of Design. See below for the building label plan

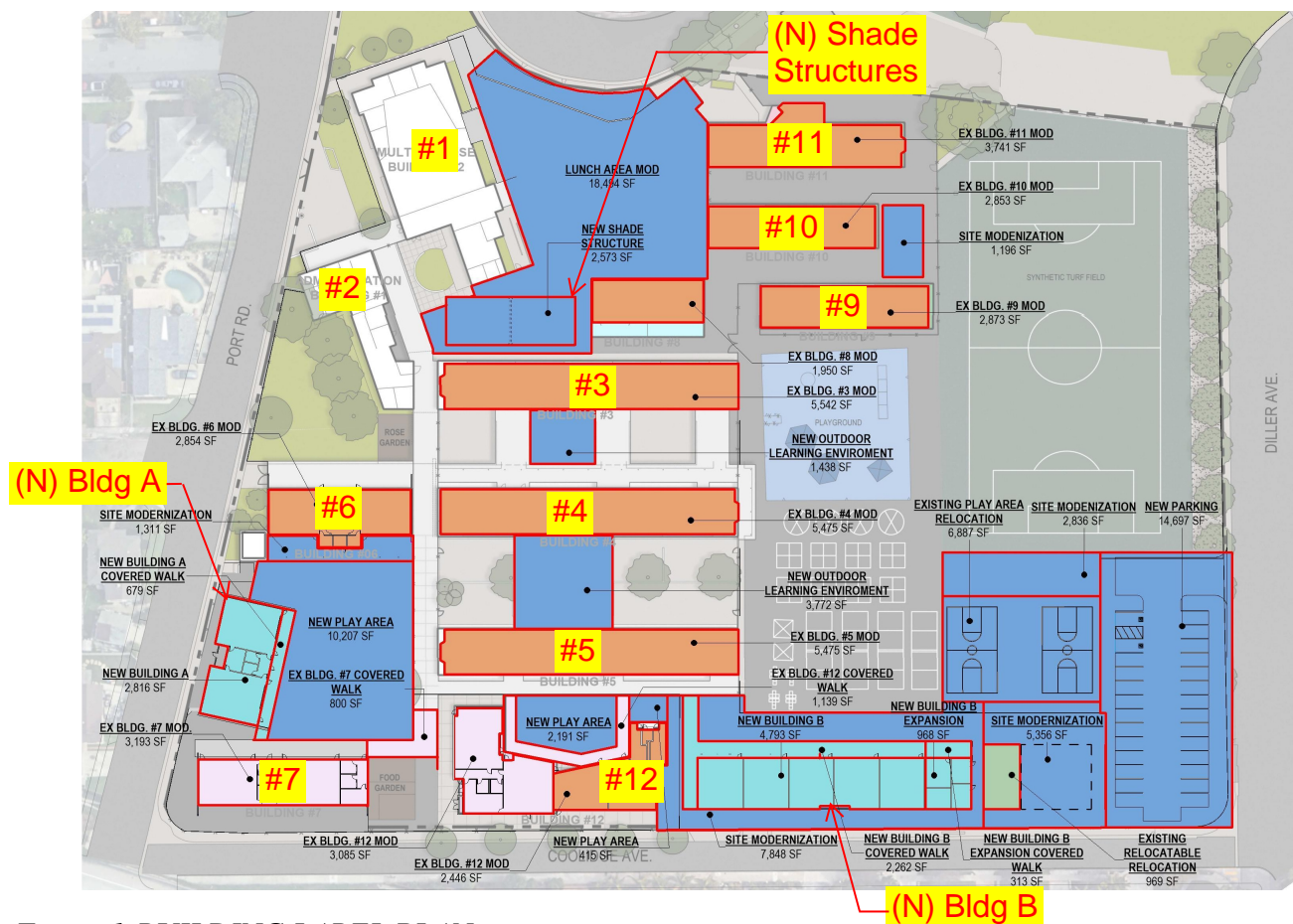


Figure 1-BUILDING LABEL PLAN

Project Overview

The intent of this report is to provide our initial structural findings based on the identified architectural and MEP improvements. The proposed architectural improvements are generally minor and are not expected to require significant alterations with exception of buildings #7 and #12 as discussed in the later sections.

New Mechanical units are planning to be placed on grade, requiring new equipment pads/ level platforms on grade.

Full seismic rehabilitation of each existing building is not intended by the Client and not in the scope of this project. However, based on the California Administrative Code Section 4-309 (c), structural rehabilitation is required if:

- (1) The cost of the reconstruction, alterations or addition project exceeds 50 percent of the replacement value of the existing building and the proposed modifications, or;
- (2) The effective seismic weight or wind force in any story increases by more than 10 percent cumulative since original construction, or;
- (3) The existing the lateral-force-resisting capacity or stiffness of any story in any one direction is not decreased by more than 10 percent, cumulative since the original construction. For the purposes of evaluating the strength or stiffness reduction, any new strengthening as a part of the project shall not be included, or;
- (4) Structural modification produces structural irregularity is that is prohibited in ASCE 7 Section 12.3.3.1 and CBC Section 1616A.1.10.

Item (1) is to be verified by the architect or cost estimator based on the DSA EB-4. Item (2) and (3) are discussed per building as applicable in the sections below. If soil-related issues trigger the mandatory seismic retrofit, consultation with Division of the State Architects (DSA) will be required.

Since the buildings are light framed buildings, most probably, the seismic retrofit scheme will be relatively simple. The probable seismic rehabilitation scope and magnitude is explained at the end of each building assessment based on DSA EB-4 and EB-5.

In case seismic rehabilitation is required by DSA, most probably the following scope and magnitude needs to be done.

1. DSA REH program:

- (1) Design team needs to prepare Evaluation and Design Criteria Report (EDCR). See note below regarding EDCE waiver.
- (2) DSA review the EDCR and approve it after their review
- (3) EDCR should be prepared and approved prior to commencing any Design Development.
- (4) Testing should be performed (if needed) prior to the Construction Document.

2. Rehabilitation.

- (1) Use the structural material strength from the testing results from the EDCR for the seismic retrofit design
- (2) Apply new structural lateral load resisting system to comply with the Current Building Code. (Either 2022 California Building Code or ASCE 41-17)
- (3) Get approval from the DSA for the rehabilitation program.

Note regarding EDCR Waiver:

For single-story wood framed buildings, EDCR may be waived if accepted by DSA in a pre-application meeting following all the following are complied with.

1. Vertical system is structural panels or diagonal sheathing
 - (1) Waiver not permitted if the strengthening includes overlaying structural sheathing on straight or diagonal sheathing.
2. Structural and non-structural components evaluation and retrofit will follow the requirements of the CBC for new buildings.
3. Materials properties are indicated on the original construction documents.
4. Condition assessment is performed per DSA IR EB-3.
5. Geohazard report indicated that there are no geological hazards on the site.

B. STRUCTURAL BASIS OF DESIGN

For Building Scope of work and further description, see Part C

1) Building Codes

- a) 2022 California Building Codes (Title 24)
- b) 2022 California Existing Building Codes
- c) ASCE 41-17
- d) ASCE 7-16
- e) ACI 318-14
- f) AWC NDS 2018 and AWC SDPWS 2015

2) Design basis

- a) Provide all modernization items to meet current code requirements.
- b) Should seismic rehabilitation be required based on the California Administrative Code Section 4-309 (c), rehabilitation will follow the approved EDCR. See previous pages for additional information.

3) Design Loads

a) Dead and Live Loads

- i) Roof
 - (1) DL: Weight of construction materials
 - (2) LL: 20 psf

b) Wind Loads: Per Building Codes (Basic wind speed, $V = 101$ MPH)

c) Seismic Loads:

- i) Soils report typically provides seismic design parameters. However, no soils report has been provided. The seismic design parameters listed below are from ASCE 7 Hazard Tool
- ii) Mechanical anchorage and loads imposed to structure shall be per ASCE 7-16 Ch. 13.
- iii) Seismic Design Parameters
 - (1) Site class: D per Section 11.4.3 (Default)
 - (2) Risk Category: III
 - (3) Seismic Design Category: D
 - (4) S_s , Design Spectral Response at Short Period(0.2 Second) : 1.900g
 - (5) S_1 , Design Spectral Response at 1 Second Period S_{d1} : 0.670g
 - (6) S_{DS} , Numeric seismic design value at 0.2 second : 1.520g
 - (7) S_{D1} , Numeric seismic design value at 1.0 second : 0.757g

4) Soils Report:

- a) It is assumed that a soils report will not be provided for this modernization project due to the magnitude of the structural works. However if needed, it is allowed to use the worst case soils conditions per CBC Table 1806A.2. (Note that a separate soils report is required for the new building constructions which is not part of this report)
 - i) Allowable Bearing Pressure = 1500 psf
 - ii) Allowable Passive Pressure = 100 psf/ft
 - iii) Allowable Friction = 0.25
- b) Based on preliminary research on CGS Website:
<https://maps.conservation.ca.gov/cgs/informationwarehouse/eqzapp/>, the site is in a zone that requires evaluation for liquefaction.

5) Structural Systems (See descriptions of existing building existing structural systems in Part C)

6) Materials

- a) Plywood
- b) Wood framing
- c) Reinforcing Steel
- d) Concrete
- e) Any Structural Steel members

7) Testing and Inspection shall be per CBC Chapter 17 and DSA 103.

C. GENERAL BUILDING DESCRIPTION AND PROPOSED IMPROVEMENTS

C1. Building 1:

The existing building is a single story light framed wood structure and was built as part of the original campus. Original construction drawings were not available at the time. This assessment is based on the previous modernization drawings and our site visits.

The existing vertical load carrying system consists of sawn lumber roof joists and wood trussed supported by sawn lumber stud walls. The lateral load resisting systems appears to be constructed with 1x6 lumber diagonally sheathed roof diaphragm and the 1x6 diagonally sheathed shear walls.

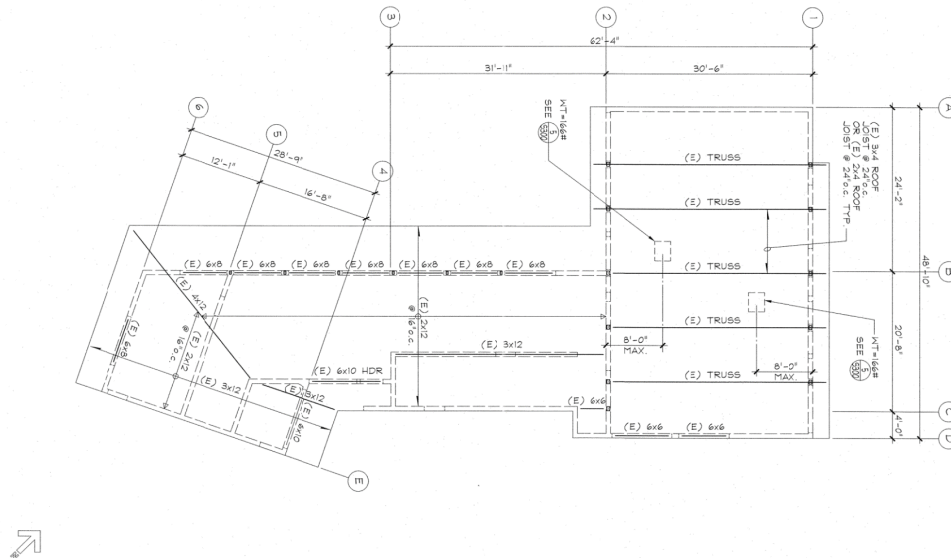


Figure 2- BUILDING 1: 2017 HVAC Upgrade Roof Framing Plan

Structural Assessment:

Based on our initial site visit and our limited visual observations, there were no obvious visible signs of structural distress.

The mechanical engineer is planning to place the new HVAC units on grade in lieu of roof mount. The weights of the units are unknown at this report. Mechanical pad and fence wall around the pad is expected. The mechanical concrete pad would be around 24 inches thick.

At the building, most likely local stiffening around new duct openings is required. The strategic location for the duct opening will be coordinated with MEP engineer to avoid seismic retrofit of the entire building per CAC 4-309 (c) 3.

Probable Seismic Retrofit Scheme:

Mandatory seismic rehabilitation is likely not required, based on current scope.

It is our understanding that the structural work at this time will be limited to support of minor non-structural elements. Minor structural modifications to the existing vertical or lateral system is expected (door penetrations and windows). The modifications will be coordinated with architect to avoid seismic retrofit of the entire building per CBC4-309 (c).

Should seismic rehabilitation be required, it is estimated that the following will likely be the needed seismic improvements.

- The existing roof diaphragm members (diagonal 1x6 sheathing) needs to be replaced with new ½" plywood.
- The existing wall sheathing (diagonal 1x6 sheathing) needs to be replaced with new ½" plywood
- New anchor bolts need to be added between existing anchor bolts.
- New hold-down anchors need to be installed at the both ends of the new shear walls
- Some light gage hardware such as Simpson Strong Ties (A35 clips and Straps) need to be applied
- All non-structural element such as lighting fixture, drop ceilings, TV mounting, caseworks and lockers should be anchored to the structural members.
- Soils engineer's recommendations are needed to determine the impact and the extent of liquefaction. Note that since the building is a single story wood framed building, it is more tolerable to differential deflections than other types of buildings.

C2. Building 2:

The existing building is a single story light framed wood structure and was built as part of the original campus. Original construction drawings were not available at the time this assessment was conducted and the following information is based on the previous modernization drawings and our site visits. The existing vertical load carrying system consists of sawn lumber roof joists and wood trusses supported by sawn lumber stud walls. The lateral load resisting systems appears to be constructed with 1x6 lumber diagonally sheathed roof diaphragm and the 1x6 diagonally sheathed shear walls.

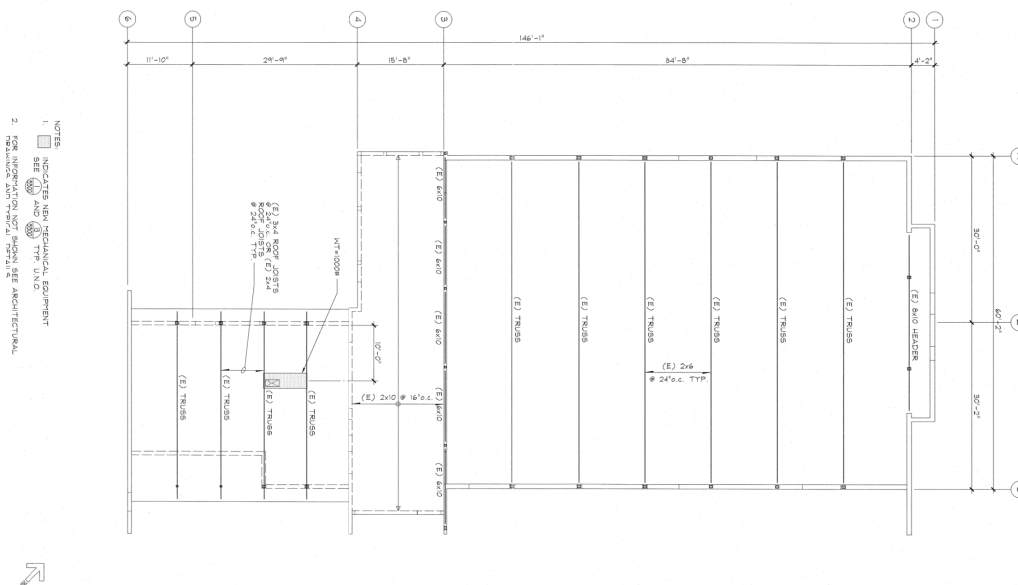


Figure 3- BUILDING 2: 2017 HVAC Upgrade Roof Framing Plan

Structural Assessment:

Based on our initial site visit and our limited visual observations, there were no obvious visible signs of structural distress.

The mechanical engineer is planning to place the new HVAC units on grade in lieu of roof mount. The weights of the units are unknown at this report. Mechanical pad and fence wall around the pad is expected. The mechanical concrete pad would be around 24 inches thick.

At the building, local stiffening around new duct openings is required. The strategic location for the duct opening will be coordinated with MEP engineer to avoid the mandatory seismic retrofit of the entire building per CAC 4-309 (c) 3.

Probable Seismic Retrofit Scheme:

Same as Section B1.

C3. Building 3, 4, 5, 6, and 7:

The existing buildings are single story light framed wood structures built after construction of the original campus. Original construction drawings were not available at the time this assessment. The following information is based on the previous modernization drawings and our site visits.

The existing vertical load carrying system consists of 3x4 and 2x4 sawn lumber roof joists supported by wood trusses supported by sawn lumber stud posts/walls. The lateral load resisting systems appears to be constructed with 1x6 lumber diagonally sheathed roof diaphragm and the 1x6 diagonally sheathed shear walls.

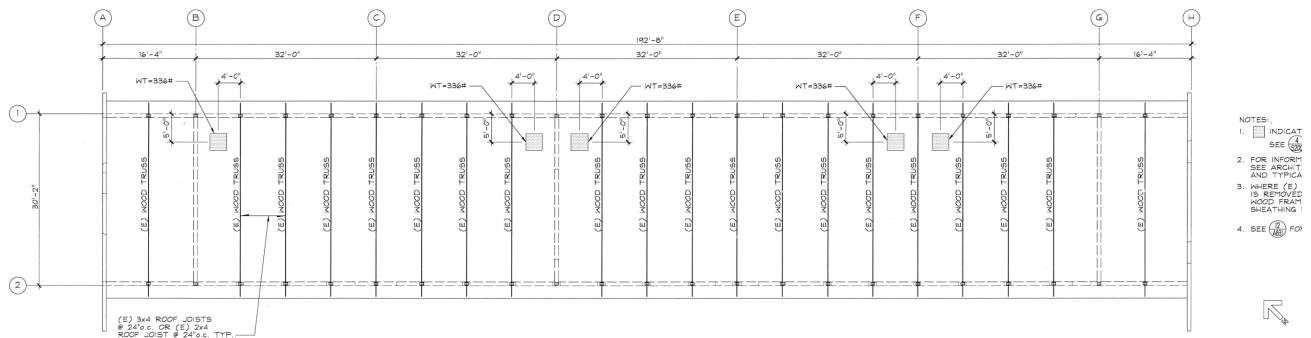


Figure 4- BUILDING 3, 4, & 5: 2017 HVAC Upgrade Roof Framing Plan

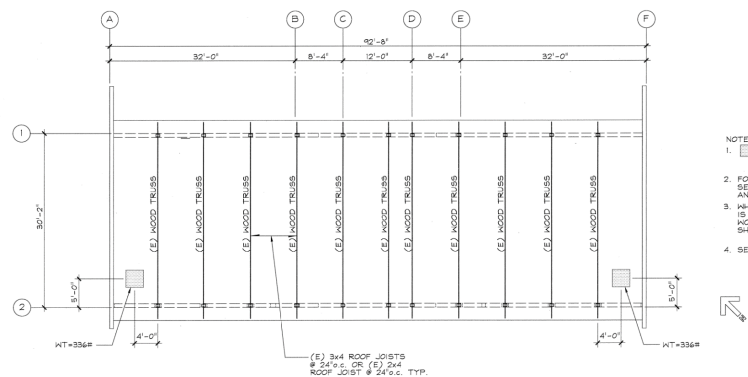


Figure 5- BUILDING 6: 2017 HVAC Upgrade Roof Framing Plan

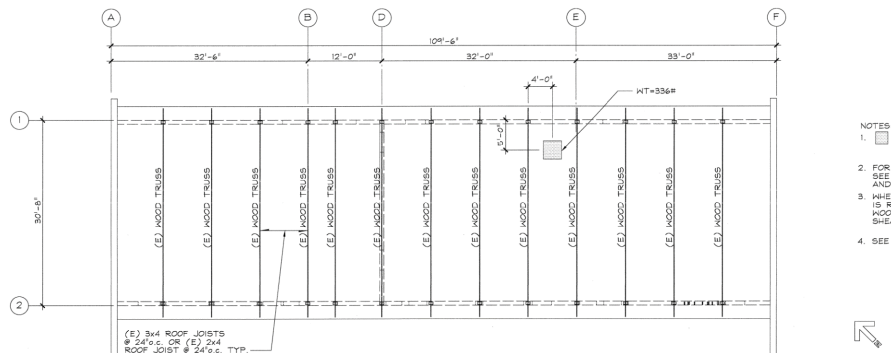


Figure 6- BUILDING 7: 2017 HVAC Upgrade Roof Framing Plan

Structural Assessment:

Based on our initial site visit and our limited visual observations, there were no obvious visible signs of structural distress.

The mechanical engineer is planning to place the new HVAC units on grade in lieu of roof mount. The weights of the units are unknown at this report. Mechanical pad and fence wall around the pad is expected. The mechanical concrete pad would be around 24 inches thick.

Local stiffening around new duct openings is required. The strategic location for the duct opening will be coordinated with MEP engineer to avoid seismic retrofit of the entire building per CAC 4-309 (c) 3.

Probable Seismic Retrofit Scheme:

Same as Section B1.

C4. Building 7:

The existing buildings are single story light framed wood structures and was built after construction of the original campus. Original construction drawings were not available at the time this assessment. The following information is based on the previous modernization drawings and our site visits.

The existing vertical load carrying system consists of 3x4 and 2x4 sawn lumber roof joists supported by wood trusses supported by sawn lumber stud posts/walls. The lateral load resisting systems appears to be constructed with 1x6 lumber diagonally sheathed roof diaphragm and the 1x6 diagonally sheathed shear walls.

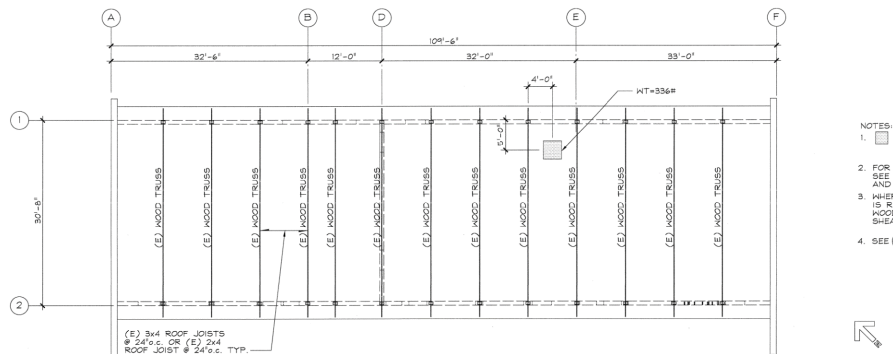


Figure 7- BUILDING 7: 2017 HVAC Upgrade Roof Framing Plan

Structural Assessment:

Based on our initial site visit and our limited visual observations, there were no obvious visible signs of structural distress.

The mechanical engineer is planning to place the new HVAC units on grade in lieu of roof mount. The weights of the units are unknown at this report. Mechanical pad and fence wall around the pad is expected. The mechanical concrete pad would be around 24 inches thick.

At the building, local stiffening around new duct openings is required. The strategic location for the duct opening will be coordinated with MEP engineer to avoid the mandatory seismic retrofit of the entire building per CAC 4-309 (c) 3.

It is our understanding that the structural work will include an addition on the Eastside of the building. The addition is planned to be seismically separated from the existing building so full seismic rehabilitation of the entire building is not needed. The new addition portion will be designed and constructed as a new building complying the current Building Code and regulations.

Probable Seismic Retrofit Scheme:

Per CAC 4-309 (c) 2, if effective seismic weight or wind force in any story increases by more than 10 percent cumulative since original construction then retrofit will be required.

Should seismic rehabilitation be required, it is estimated that the following will likely be the needed seismic improvements.

- The existing roof diaphragm members (diagonal 1x6 sheathing) needs to be replaced with new ½" plywood.
- The existing wall sheathing (diagonal 1x6 sheathing) needs to be replaced with new ½" plywood
- New anchor bolts need to be added between existing anchor bolts.
- New hold-down anchors need to be installed at the both ends of the new shear walls
- Some light gage hardware such as Simpson Strong Ties (A35 clips and Straps) need to be applied
- All non-structural element such as lighting fixture, drop ceilings, TV mounting, caseworks and lockers should be anchored to the structural members.
- Soils engineer's recommendations are needed to determine the impact and the extent of liquefaction. Note that since the building is a single story wood framed building, it is more tolerable to differential deflections than other types of buildings.

C5. Building 8, 9, 10, & 11:

The existing buildings are single story light framed wood structures and were built after construction of the original campus, and the construction appears to be part of the previous Culver Park High School. Original construction drawings were not available at the time this assessment. The following information is based on the previous modernization drawings and our site visits.

The existing vertical load carrying system consists of wood trusses supported by sawn lumber stud walls. The lateral load resisting systems appears to be constructed with 1x6 lumber diagonally sheathed roof diaphragm and the 1x6 diagonally sheathed shear walls).

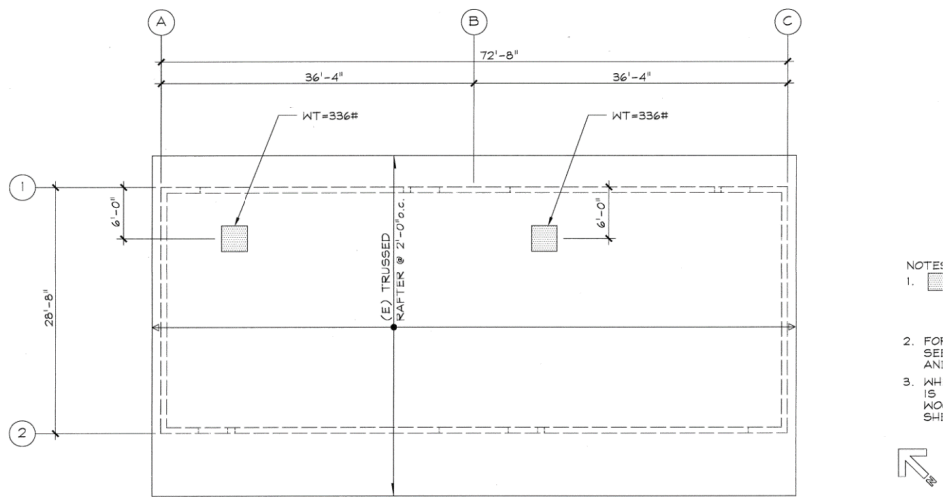


Figure 8- BUILDING 8: 2017 HVAC Upgrade Roof Framing Plan

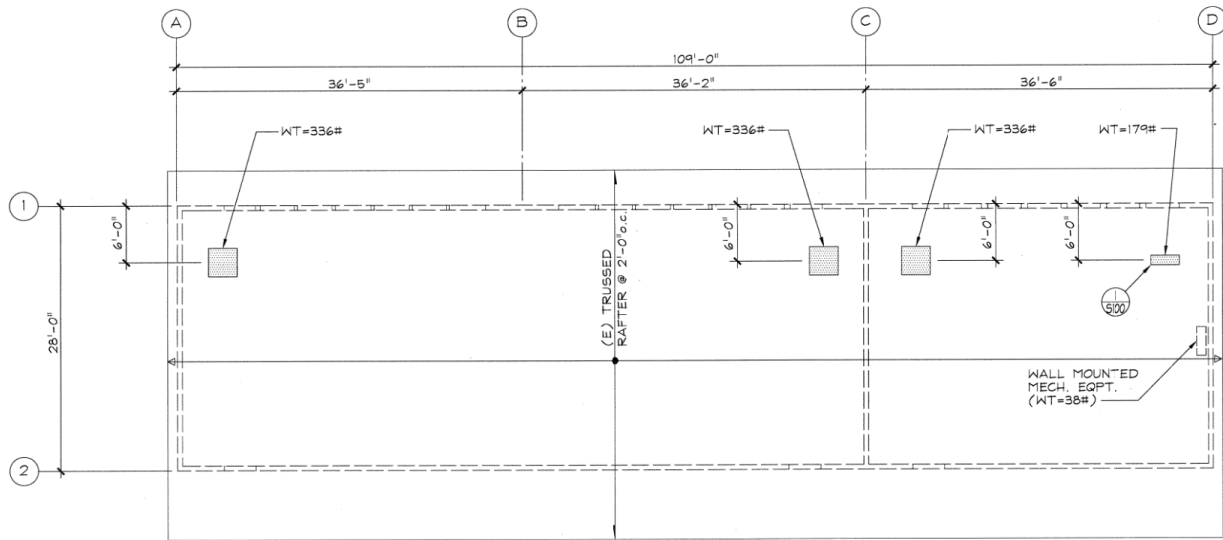


Figure 9- BUILDING 9: 2017 HVAC Upgrade Roof Framing Plan

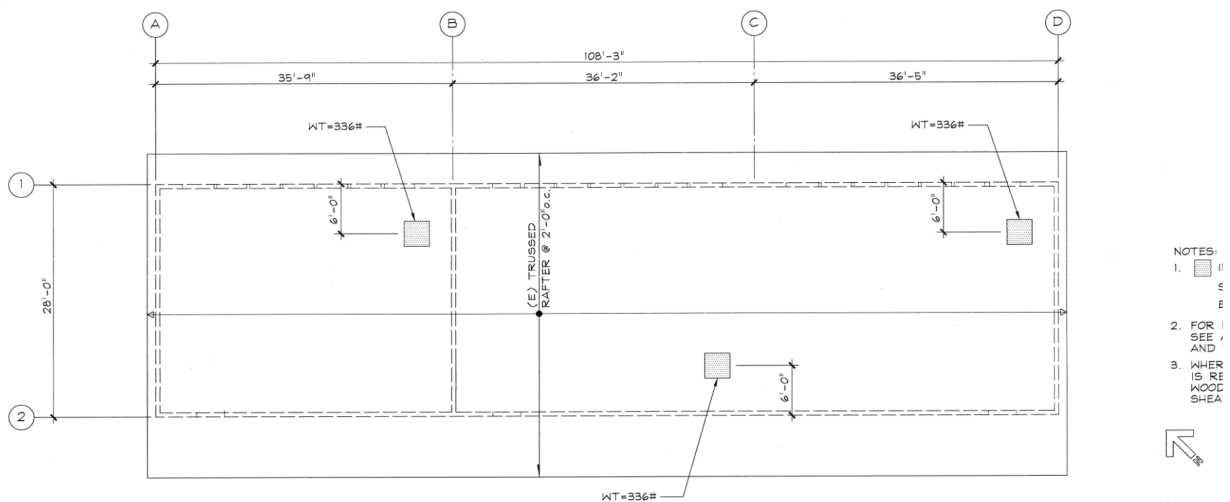


Figure 10- BUILDING 10: 2017 HVAC Upgrade Roof Framing Plan

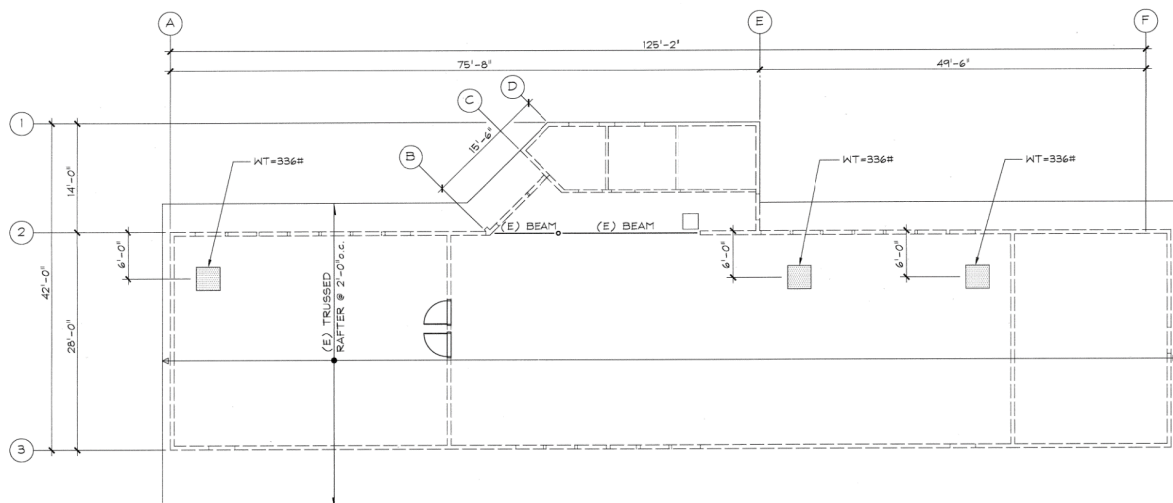


Figure 11- BUILDING 11: 2017 HVAC Upgrade Roof Framing Plan

Structural Assessment:

Based on our initial site visit and our limited visual observations, there were no obvious visible signs of structural distress. There did appear to be water stains on the ceilings which may result from the roof leak. Constant water leakage on wood framing could cause deterioration of wood framing. We suggest that ceiling finishes be removed and further investigation be conducted to evaluate any possible damage.

The mechanical engineer is planning to place the new HVAC units on grade in lieu of roof mount. The weights of the units are unknown at this report. Mechanical pad

and fence wall around the pad is expected. The mechanical concrete pad would be around 24 inches thick.

At the building, local stiffening around new duct openings is required. The strategic location for the duct opening will be coordinated with MEP engineer to avoid the mandatory seismic retrofit of the entire building per CAC 4-309 (c) 3.

Probable Seismic Retrofit Scheme:

Same as Section B1.

C6. Building 12:

The existing building is a single story light framed wood structure built circa 1997. The existing vertical load carrying system consists of i-joist roof joists supported by sawn lumber stud walls. The lateral load resisting system consists of plywood sheathed shear walls supporting a plywood sheathing diaphragm.

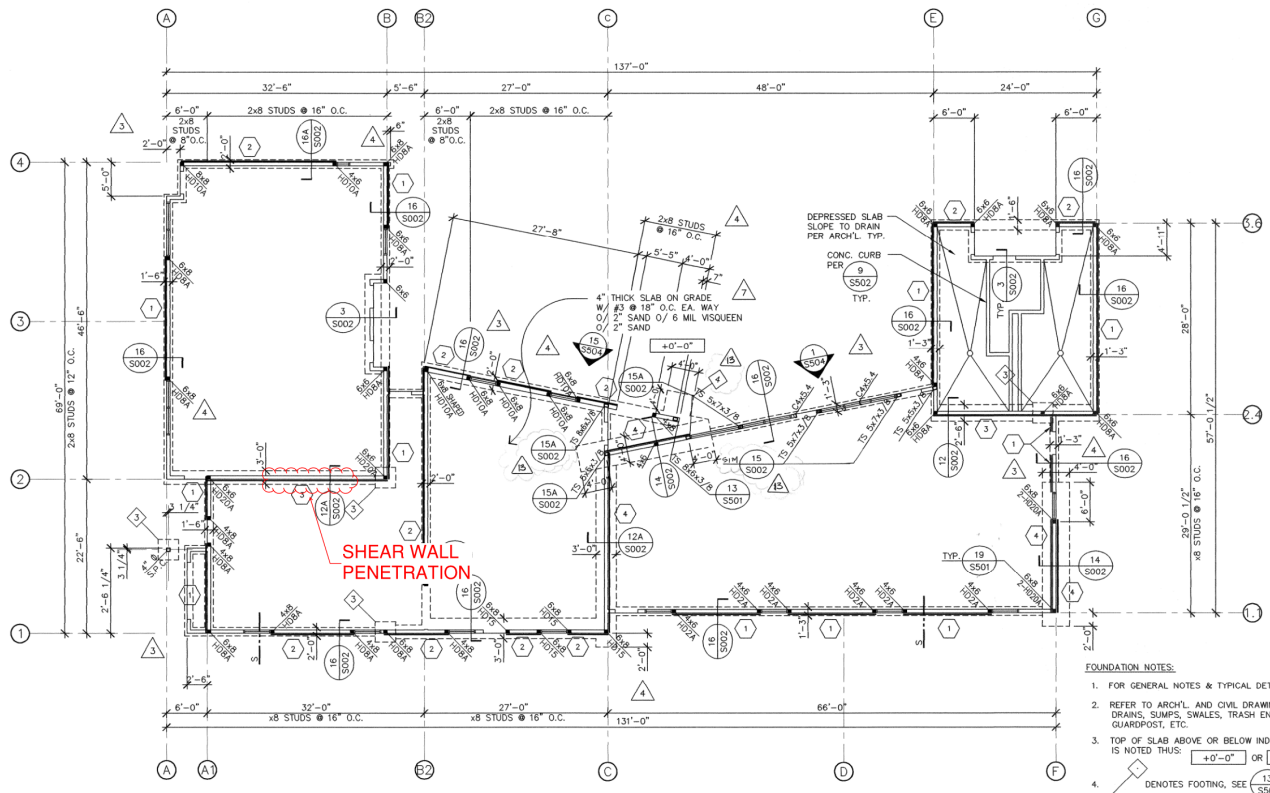


Figure 12- BUILDING 1: 1997 Foundation Plan

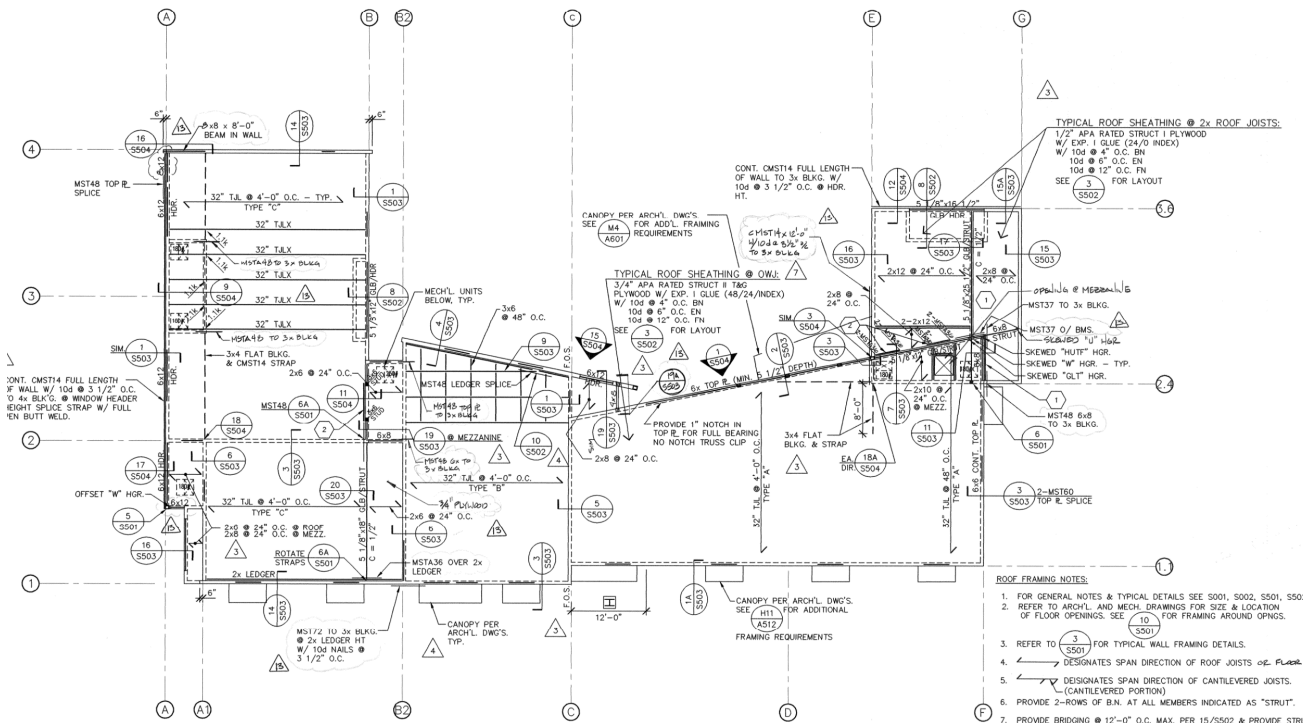


Figure 13- BUILDING 1: 1997 Roof Framing Plan

Structural Assessment:

Based on our initial site visit and our limited visual observations, there were no obvious visible signs of structural distress.

The mechanical engineer is planning to place the new HVAC units on grade in lieu of roof mount. The weights of the units are unknown at this report. Mechanical pad and fence wall around the pad is expected. The mechanical concrete pad would be around 24 inches thick.

The architectural plan is to enlarge the class rooms by opening up walls which will remove existing shear walls. Should the removal of shear walls amount to 10 percent of reduction in strength or stiffness in the direction of removal, seismic retrofit for entire building will be required.

Probable Seismic Retrofit Scheme:

Per CAC 4-309 (c) 3, if the existing lateral-force-resisting capacity or stiffness of any story in any one direction is not decreased by more than 10 percent, cumulative since the original construction then retrofit will be required.

Should seismic rehabilitation be required, it is estimated that the following will likely be the needed seismic improvements.

- The existing roof diaphragm members (diagonal 1x6 sheathing) needs to be replaced with new ½" plywood.
- The existing wall sheathing (diagonal 1x6 sheathing) needs to be replaced with new ½" plywood
- New anchor bolts need to be added between existing anchor bolts.
- New hold-down anchors need to be installed at the both ends of the new shear walls
- Some light gage hardware such as Simpson Strong Ties (A35 clips and Straps) need to be applied
- All non-structural element such as lighting fixture, drop ceilings, TV mounting, caseworks and lockers should be anchored to the structural members.
- Soils engineer's recommendations are needed to determine the impact and the extent of liquefaction. Note that since the building is a single story wood framed building, it is more tolerable to differential deflections than other types of buildings.

11.2 CONSULTANT'S ASSESSMENT

Mechanical / Plumbing



Consulting Engineers

February 17, 2025

TBP Architects
4611 Teller Ave.
Newport Beach, CA 92660

Attention: Robert Demmond

Project: Culver City Unified School District – El Marino Elementary School

Subject: Mechanical/Plumbing Observation Report

Admin Building:

The building is conditioned by ducted gas furnace units located in a mechanical room with ground mounted condensing units in a caged enclosure. The units were manufactured by Carrier in 2017 and are in good condition. The a/c units have been replaced but the ductwork in the building appears to be original. It is recommended the existing ductwork be thoroughly cleaned, resealed, and reinsulated. The units are controlled by wall mounted programmable thermostats.

Restrooms have floor mounted flush valve water closets and wall mounted lavatories with metered faucets. Fixtures appears to be in good condition.

A gas-fired, tank type water is located in the mechanical room and provides domestic hot water to the building. The water heater is missing an expansion tank and hot water piping insulation.



Typical gas furnace located in mechanical room.



Condensing units on grade in chain-link enclosure.



Gas-fired atmospheric tank type water heater in mechanical room.

Multipurpose Building:

The building is conditioned by a ducted split heat pump unit with a ground mounted condensing unit in a caged enclosure. The unit was manufactured by Carrier in 2017 and is in good condition. The a/c unit has been replaced but the ductwork in the building appears to be original. It is recommended the existing ductwork be thoroughly cleaned, resealed, and reinsulated. The units are controlled by wall mounted programmable thermostats.

A gas-fired, tank type water with recirculating pump is located in the mechanical room and provides domestic hot water to the building. The water heater is missing a seismic strap, expansion tank, and hot water piping insulation.



Condensing unit on grade in chain-link enclosure serving multipurpose building.



Gas-fired atmospheric tank type water heater in mechanical room.

Typical Classroom Buildings:

Each classroom is conditioned by a ducted furnace unit located in casework within the room. The furnace has a DX cooling coil that is connected a condensing unit either mounted on the roof or on grade. The units were manufactured in 2017 and appear to be in good condition. Supply ductwork runs to registers mounted in the casework and/or exposed within the room with duct mounted registers. A custom fabricated filter frame is located in the return ductwork which has been noted by the District to contain a MERV 16 filter. The units are controlled by wall mounted programmable thermostats.

One classroom in the building on the south-west corner of the site is conditioned by a packaged heat pump unit mounted on grade. The unit was manufactured by Trane in 2023 and is in good condition. Ductwork is routed at the exterior and up into the building. At the time of survey, it was noted that in heating mode, condensate is draining from the unit to the hardscape. If this is an algae or slipping concern, a drain pan could be added under the unit to capture the water.

Another classroom in the same building on the south-west corner of the site is conditioned by a wall mounted self-contained a/c (Bard) unit. We could not confirm the age of the unit during the survey but it appears to be in fair condition.

Restrooms have floor mounted flush valve water closets and wall mounted lavatories with metered faucets. Fixtures appears to be in good condition.

An electric, tank type domestic water heater is located on a suspended platform in the janitor's closer. The water heater is missing a drain pain, TP discharge piping, one seismic strap, and hot water pipe insulation per code requirements. It is recommended these items be added to the existing system.



Typical classroom furnace with DX cooling coil located in casework.



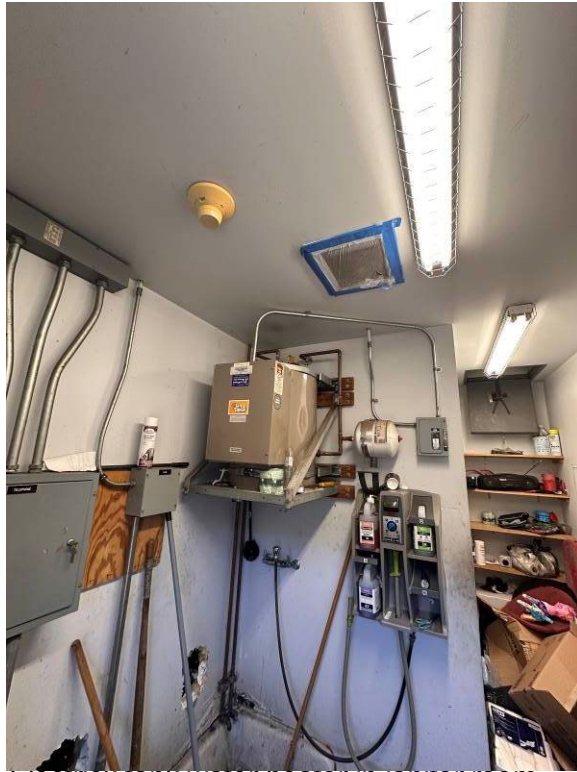
Typical ground mounted condensing unit.



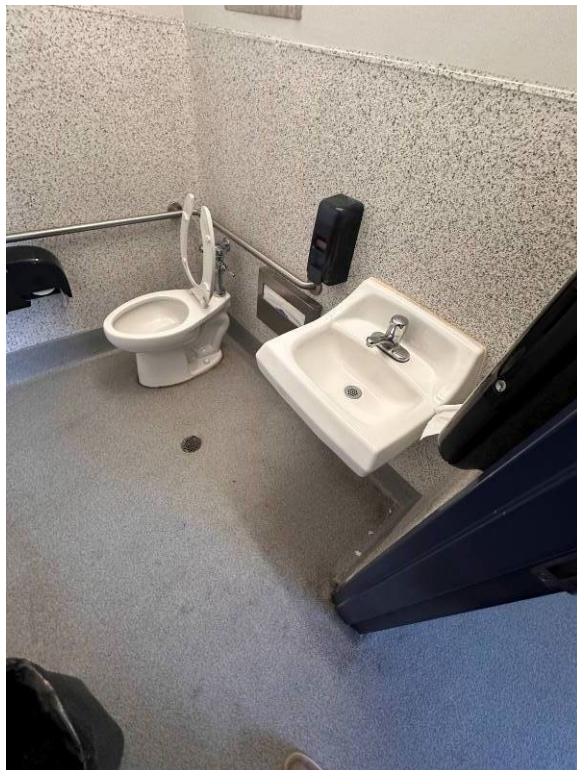
Ground mounted packaged heat pump unit serving classroom.



Wall mounted heat pump unit serving classroom.



Electric tank water heater in janitor room.



Typical plumbing fixtures.

11.3 CONSULTANT'S ASSESSMENT

Electrical

Culver City USD El Marino Electrical Assesement

Culver City , C A
Electrical Assessment Report



www.p2sinc.com

February 14, 2025
P2S Opportunity #24-2747

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Electrical Existing Conditions

Electrical survey of the site was conducted on January 2, 2025 for the exteriors and interior spaces of the El Marino Campus. The following conditions were observed and documented:

1. Electrical service and distribution
2. General-purpose electrical devices and circuiting
3. Lighting and controls
4. Fire alarm

Electrical Service

Facilities are served from a Main Switchboard "MSB" 1600 Amp, 208/120V electrical utility adjacent to Classroom Building 6. The existing service is served from an SCE transformer located on the West side of the Campus, adjacent to Port Road.

The electrical service was installed in approximately 1998. The service is 27 years old. While the electrical service, visually appears to be in decent condition, it is at the end of the rated life for electrical equipment. Typical electrical equipment is rated for 20-25 years.

The existing 1600A, 208/120V, 3-phase 4-wire service serves the buildings throughout the Campus. Existing electrical panels vary in type of manufacturer (RSE-Sierra, Siemens), location (electrical rooms, corridors, exterior of buildings), and age.

The majority of electrical panels have mixed electrical loads, meaning they have receptacles, lighting, and mechanical equipment on the same panel. This was code legal at the time of installation, but current Title 24 requires loads to be separated by load types. For instance, lighting shall be on one panel, mechanical on a separate panel, and receptacles on their own panel. Only 10% (by electrical load) of the panel shall have a "mixed load". This allows the ability to meter systems separately to verify building operations.

One noted item, rooms with electrical equipment are used as storage rooms. In many cases, the electrical panels are not accessible without fully emptying the rooms. Storage consists of anything from Audio/Visual equipment to cleaning supplies. These panels need to have clearance in front of them to allow access in case of emergency.

Lighting

Lighting throughout the Campus appears to be a mixture of lighting types and fixtures.

Many classrooms appear to have fluorescent light fixtures. These were common up and through the early 2000s. Fixture types range from surface-mount "wrap-around lens" light fixtures to surface-mount acrylic lens light fixtures. All of these light fixtures are on/off type and do not allow dimming.

In some rooms, the lighting has been upgraded to LED-type light fixtures with dimming. These light fixtures appear to be in the 4000-5000k color level.

The lighting controls in these rooms vary based on light fixture type.

For rooms with fluorescent lighting, the rooms have on/off toggle switches. Typical classrooms allow two separate zones to be switched independently. Many of the rooms only have toggle switches at one room entry, not at all the room entries. The rooms are equipped with occupancy sensors for energy savings.

The rooms equipped with LED lighting are controlled with a Lutron dimming switch. This allows both on/off switching and linear dimming of the light fixture. Again, the rooms only have switches at a single-entry location. The rooms are equipped with occupancy sensors for energy savings.

In many cases, the light switches appeared to be mounted higher than ADA requirements allow.

The existing light fixtures and controls do not meet current Title 24 requirements. The lighting loads exceed today's allowance for watts per square foot installed. The controls do not meet the requirements for dimming and daylight zones.

Receptacles

Classrooms are equipped with receptacles throughout. Receptacles were difficult to locate due to Classroom furniture, materials, artwork, etc.

In classrooms with sinks, it appears that receptacles are installed within 6' of the sink without GFI receptacles.

Some devices did not appear to meet current ADA requirements.

Fire Alarm Existing Conditions

The fire alarm system is currently addressable using a Notifier AFP-200 control panel. The spaces are equipped with ADA horns/strobes and smoke detectors throughout.

The existing documents do not indicate any heat detectors above the ceiling where ceilings exist.

ELECTRICAL SYSTEM DESIGN

New and existing loads will be required to be reviewed to confirm adequacy to serve new project loads. The electrical systems will be designed to support the added HVAC load on the campus and enhance the classroom experience with even illumination and visual comfort. The proposed electrical system will include new panelboards, as well as associated conduit, wire, and pull boxes. The following sections outline the electrical system, the rationale for selection, and electrical specifications.

Design Criteria

Applicable Codes

- California Building Standards Administrative Code (Title 24, Part 1), 2022
- California Building Code (Title 24, Part 2), 2022
- California Building Code (Title 24, Part 3), 2022
- California Mechanical Code (Title 24, Part 4), 2022
- California Plumbing Code (Title 24, Part 5), 2022

- California Energy Code (Title 24, Part 6), 2022
- California Fire Code (Title 24, Part 9), 2022
- California Green Building Code (Title 24, Part 11), 2022
- California Referenced Standards Code (Title 24, Part 12), 2022

Reference Standards and Guidelines

- American National Standards Institute ANSI
- American Society for Testing and Materials ASTM
- Association of Edison Illuminating Companies AEIC
- Certified Ballast Manufacturers CBM
- Electrical Testing Laboratories ETL
- Electronic Industries Association EIA
- Illuminating Engineering Society of North America IESNA
- Institute of Electrical and Electronics Engineers IEEE
- Insulated Power Cable Engineers Association IPC EA
- National Electrical Manufacturers Association NEMA
- International Electrical Testing Association NETA
- National Fire Protection Association NFPA
- Underwriters' Laboratories UL

Electrical System Criteria & Requirements

Design Voltage Selection

The building capacity will increase by approximately 11,500 square feet. We anticipate the electrical load will be approximately 16 watts per square foot, for an added load of approximately 184kW, 511 amps at 120/208V, 3 phase.

As previously noted, the existing service is 1600A, 120/208V, 3 phase, 4 wire. Breakers are typically rated at 80% of their listed value for long continuous loads (3 hours or longer). The existing breaker loading should be limited to 1,280 amps.

Based on preliminary information, we recommend increasing the existing Campus service to a 2000A, 208/120V, 3 Phase, 4-wire system.

Our office has requested the utility metered information. Depending on the peak demand rating, the existing service may be suitable to allow the new structures. Our office will update the recommendation when this information is received.

Electrical Distribution

Southern California Edison utility will likely require an upgrade to its pad-mount transformer pending load calculations on its equipment. Any shutdown is anticipated to be three days or less and would be exclusive of the District's Upgrade Project. The timeline for SCE to provide their work order is 8-10 weeks after load information has been provided.

Panelboards

To energize the new HVAC and receptacle loads, each main building (2) 208Y/120V panelboards. One panelboard to serve new HVAC, and the other to serve the receptacles and supplementary power loads. Proposed location will be in storage rooms.

Individual panelboards shall have door-in-door construction with up to 42-poles, and copper bussing, unless otherwise noted in single line diagram. Where panels are surface-mounted, skirt hardware to floor shall be included. AIC ratings will be based on the calculated fault currents. Proposed manufacturers are: Square D.

Conduit and Wiring

The electrical design will be based on using the following conduit types: galvanized rigid steel (GRS) conduit in exterior; rigid non-metallic conduit (PVC) for all underground exterior work; electrical metallic tubing (EMT) for interior concealed work or above eight feet exposed; flexible metal conduit for interior work in short lengths (less than 6') for the connection of recessed lighting fixtures, motors, separate building structures and any vibrating equipment; liquid tight flexible metal conduit wherever moisture may be present. All wires shall be copper.

Equipment Connections

Electrical power connections will be made to all mechanical equipment, projectors, etc. Additional circuiting provisions include associated devices such as disconnect switches, contactors, magnetic or manual starters, lock-out switches, etc. which are not furnished under the mechanical sections. Wiring below 120V will be accommodated by the respective mechanical and plumbing trades, and their provided systems.

Grounding

A grounding system shall be provided at the Main Electrical Service. A separate green ground wire shall be provided for all new feeders & branch circuits. Grounding feeders shall be sized as per CEC and district requirements.

Classroom Power

Power to new projectors will be provided by new ceiling-mounted or wall-mounted receptacles as determined by projector location. Any existing wall-mounted electronic devices will be relocated to an accessible part of the wall if there are conflicts with the new ceiling. Any existing devices on the ceiling that need to remain will be relocated to the new ceiling. Additional receptacle power shall be added to maintain an (2) receptacle per wall minimum. Dedicated power for laptop charging carts shall be added and location shall be coordinated with the district.

Lighting

Classroom Lighting

New recessed and surface-mounted LED lighting will be provided to the facility; recently installed LED fixtures shall be maintained. New Title 24 compliant controls will be added that includes local to each space with dimming, automatic shut-off via vacancy sensors, and daylight controls via photocell.

Controls will be achieved through a distributed, system of low -voltage relays and sensors, with C AT-6 cable utilized for control wiring. When possible, light fixtures will be specified with integral relays to reduce field installation. Lighting levels in C classrooms will be designed for the following:

- Average maintained 35 to 50 foot-candles at the horizontal work surface, with a minimum of 25 foot-candles at any point more than 3 feet from any wall.



Lighting Fixtures and Control Devices

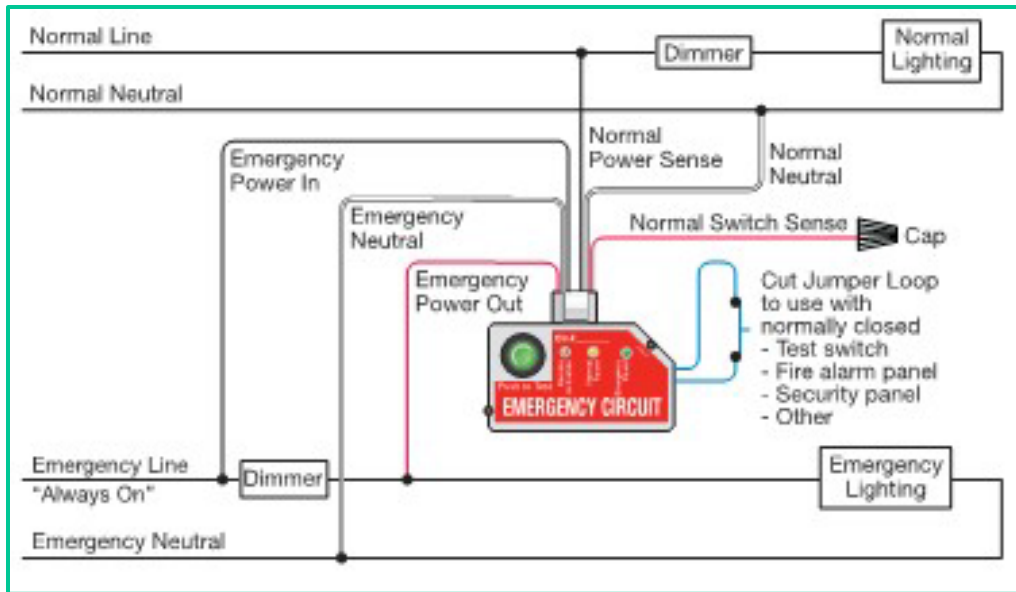
Corridor Lighting

Lighting in corridors will be replaced with LED fixtures in place and the corridor controls upgraded to comply with Title 24.

Emergency, Standby Power, and Egress Lighting Design

Emergency Egress Lighting

Emergency power will be provided for all code-required equipment. A central lighting inverter shall be included to provide power to egress and emergency lights when utility power is lost. Egress and Emergency lighting shall be controlled via UL924 relays.



UL 924 Relay Wiring Diagram

Fire Alarm Basis of Design

A modified fully automatic, addressable voice/evacuation system will be provided at all buildings on site that are being renovated, per current 2022 CBC and NFPA 72-2022 requirements. The system will include strobes, speaker/strobes, pull stations as well as other required notification and initiating devices. The manufacturer shall be Notifier per District Standards.

The fire alarm system will have dedicated emergency battery backup for 24 hours in supervisory mode, followed by 15 minutes at full alarm.

Photovoltaic (PV) and Battery Energy Storage Systems (BESS)

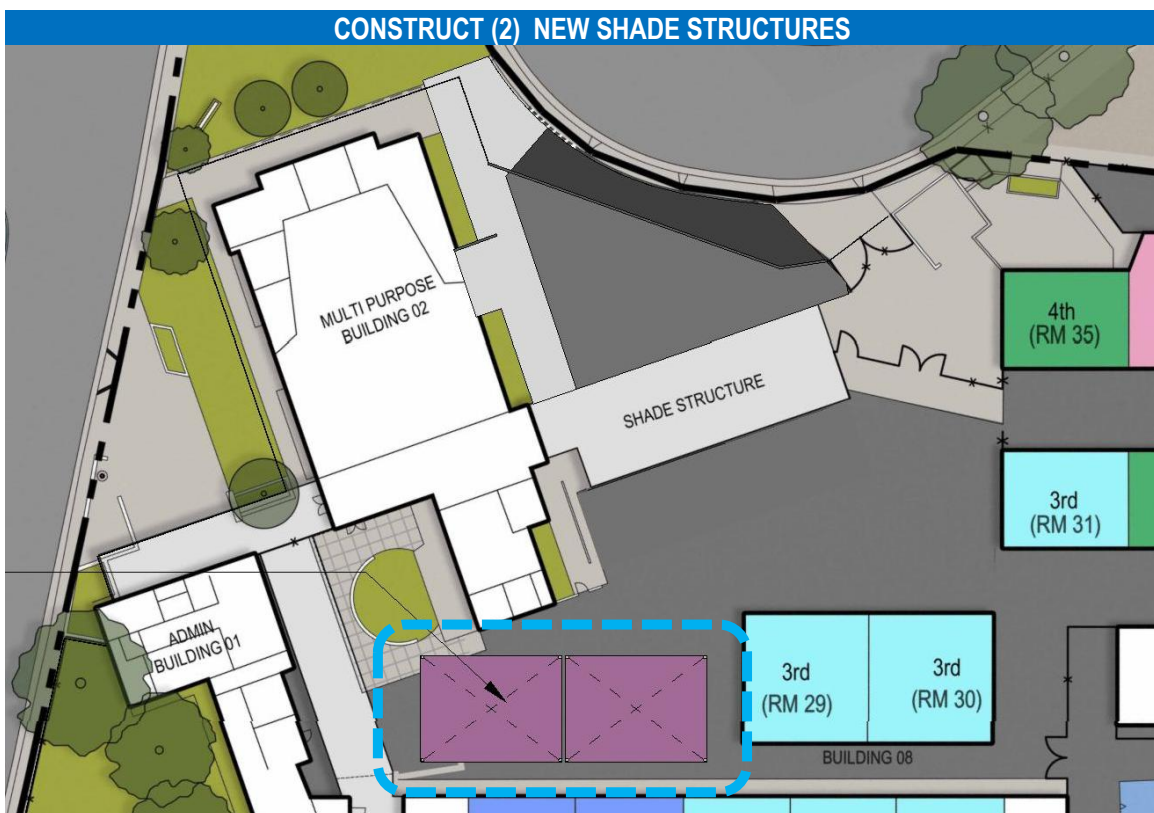
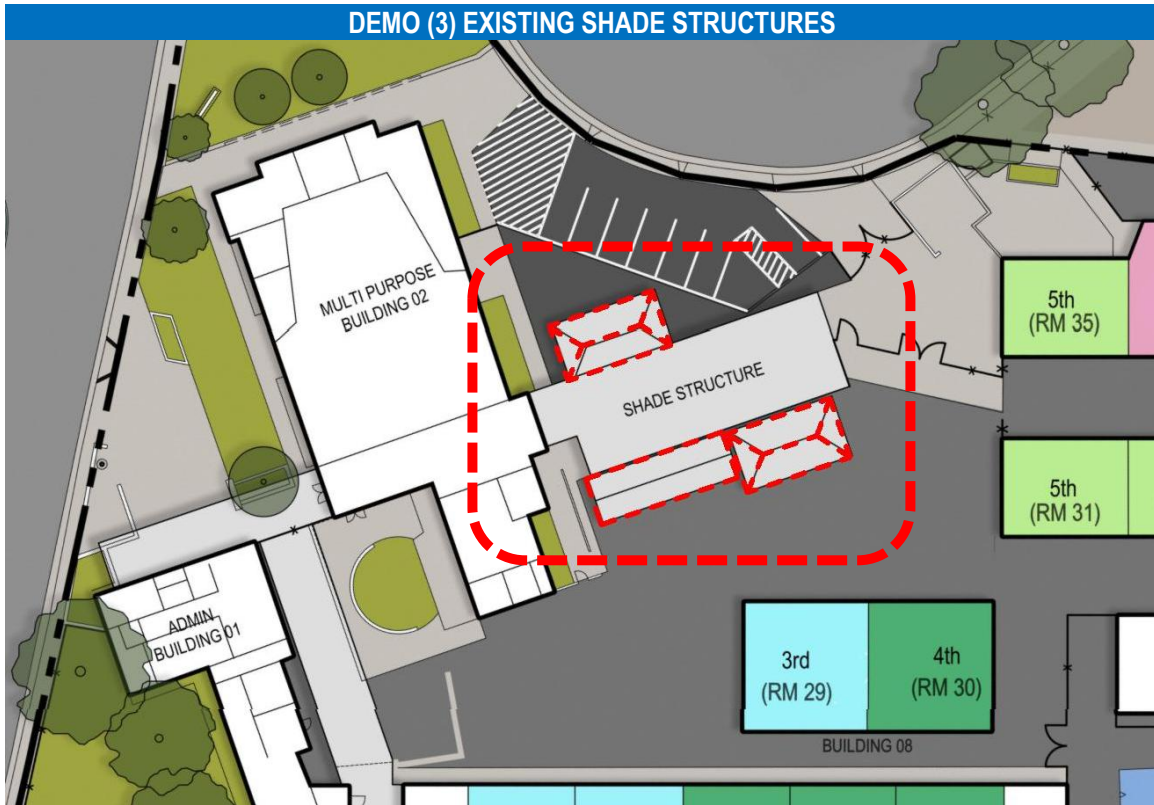
Current code requires new buildings to install photovoltaic and potentially battery storage systems.

A new roof mounted PV system will be provided to meet the code minimum requirements.

Our office anticipates, using the Performance method, that BESS will not be required. The performance method calculation includes the Building Envelope, Mechanical System, Lighting System, PV, and BESS. If the envelope, mechanical, lighting, and PV systems are efficient enough, BESS is not required.

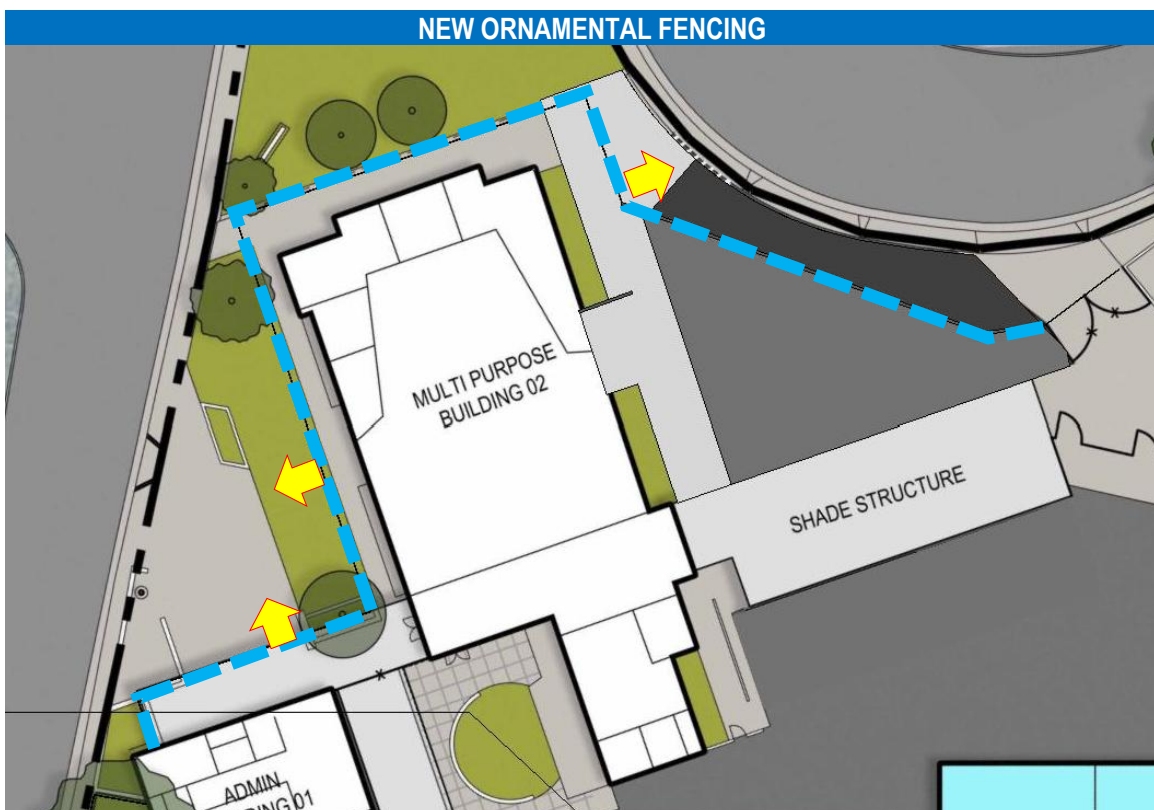
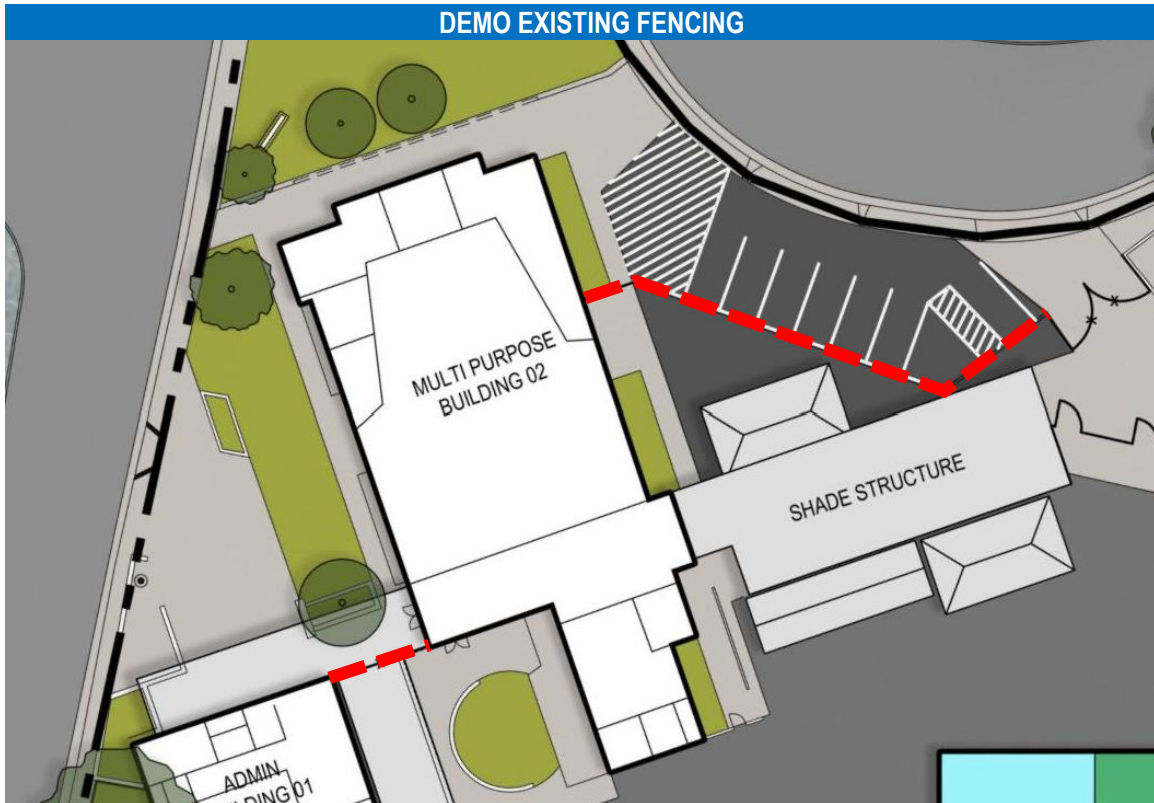
12.A APPENDIX

Quick Start Projects – Shade Structure



12.A APPENDIX

Quick Start Projects – Secure Entry Fencing



12.B APPENDIX

Survey drawings

PRELIMINARY REPORT



CHICAGO TITLE

4911 Birch St
Newport Beach, CA 92660

Prelim Number:

FBSC2405133

Issuing Policies of **Chicago Title Insurance Company**

Order No.: FBSC2405133

TO:
NV5
133 Technology Drive, Suite 200
Irvine, CA 92618

Attn: J Braley
Ref No.:

Title Officer.: David James
Email: CACTNBU@ctt.com
Phone No.: 949-724-3185
Fax No.: 949-209-1959

Escrow Officer:
Email:

El Marino ES

Phone No.:
Fax No.:

Loan No.:

Property: 11450 Port Rd, Culver City, CA 90230

In response to the application for a policy of title insurance referenced herein, **Chicago Title Company** hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a policy or policies of title insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of a defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules, Exclusions from Coverage, and Conditions of said policy forms.

With respect to any contemplated owner's policy, the printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said policy or policies are set forth in Attachment One. The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. Limitations on Covered Risks applicable to the CLTA/ALTA Homeowner's Policy of Title Insurance, which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Attachment One. Copies of the policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to herein and the exceptions and exclusions set forth in Attachment One of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a binder or commitment should be requested.

Countersigned By:

Authorized Officer or Agent
Joe Goodman

Effective date: December 12, 2024 at 07:30 AM

The form of Policy or Policies of Title Insurance contemplated by this Report is:

1. The estate or interest in the Land hereinafter described or referred to covered by this Report is:

Fee Simple

2. Title to said estate or interest at the date hereof is [vested in:](#)

Culver City Unified School District of Los Angeles County

3. The Land referred to in this Report is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

EXHIBIT A
Legal Description

For **APN/Parcel ID(s):** [4216-013-900](#)
For **Tax Map ID(s):** [4216-013-900](#)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

THAT PORTION OF LOT OR PARCEL NO. 7 OF THE LEIDEL TRACT, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN [BOOK 3858 PAGES 210](#) AND 211 OF DEEDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTHWESTERLY LINE OF SAID LOT 7, DISTANT NORTH 50°21' EAST, THEREON 7.13 CHAINS FROM THE MOST WESTERLY CORNER OF SAID LOT 7;
THENCE PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT 7, SOUTH 55° EAST, 12.63 CHAINS, MORE OR LESS, TO A POINT IN A STRAIGHT LINE BETWEEN A POINT IN THE NORTHEASTERLY LINE OF SAID LOT 7, DISTANT NORTH 46°18' WEST, THEREON 7.69 CHAINS FROM THE MOST EASTERLY CORNER OF SAID LOT 7, AND THE ANGLE POINT IN THE SOUTHERLY LINE OF SAID LOT 7, AT THE WESTERLY EXTREMITY OF THE COURSE IN SAID SOUTHERLY LINE SHOWN ON SAID MAP AS "SOUTH 85°11' WEST, 10.03 CHAINS";
THENCE ALONG SAID STRAIGHT LINE, NORTH 35°47'30" EAST, 4.39 CHAINS TO SAID POINT IN SAID NORTHEASTERLY LINE;
THENCE ALONG SAID NORTHEASTERLY LINE, NORTH 46°18' WEST, 8.96 CHAINS TO AN ANGLE POINT THEREIN.
THENCE NORTH 7°42' EAST, ALONG THE BOUNDARY LINE OF SAID LOT 7, A DISTANCE OF 3.62 CHAINS TO THE MOST NORTHERLY CORNER OF SAID LOT 7;
THENCE ALONG THE NORTHWESTERLY LINE OF SAID LOT 7, SOUTH 47°20' WEST, 5.24 CHAINS TO AN ANGLE POINT THEREIN;
THENCE SOUTH 50°21' WEST, 3.965 CHAINS, MORE OR LESS, TO THE POINT OF BEGINNING.

EXCEPT THEREFROM FIFTY PER CENT OF ALL OIL, GAS AND MINERAL RIGHTS, AS RESERVED BY CAMILLO CEREGHINO AND MARIE LOUISE CEREGHINO, HUSBAND AND WIFE, IN DEED RECORDED APRIL 23, 1951, AS [INSTRUMENT NO. 230, OFFICIAL RECORDS](#)

ALSO EXCEPT THAT PORTION OF SAID LAND LYING WITHIN THE LINES OF LAND DESCRIBED IN DEED RECORDED NOVEMBER 21, 1951 AS [INSTRUMENT NO. 1268, OFFICIAL RECORDS](#)

PARCEL 2:

THAT PORTION OF LOT 7 OF THE LEIDEL TRACT, IN THE RANCHO LA BALLONA, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN [BOOK 3858 PAGES 210](#) AND 211 OF DEEDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF [TRACT NO. 17241](#), AS PER MAP RECORDED IN [BOOK 418, PAGES 36, 37 AND 38](#) OF MAPS, RECORDS OF LOS ANGELES COUNTY;
THENCE ALONG THE SOUTHEASTERLY LINE OF [TRACT NO. 16955](#), AS PER MAP RECORDED IN [BOOK 392 PAGES 41](#) TO 44 OF MAPS, RECORDS OF LOS ANGELES COUNTY, NORTH 49°52'36" EAST, 144.97 FEET, MORE OR LESS, TO THE MOST WESTERLY CORNER OF THAT PARCEL OF LAND DEEDED TO THE CULVER CITY UNIFIED SCHOOL DISTRICT OF LOS ANGELES COUNTY, BY DEED RECORDED IN [BOOK 36108 PAGE 46](#) OF OFFICIAL RECORDS OF SAID COUNTY;
THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LAND DEEDED TO THE CULVER CITY UNIFIED SCHOOL DISTRICT OF LOS ANGELES COUNTY; SOUTH 55°34'37" EAST, 703.48 FEET, MORE OR LESS, TO A POINT IN THE NORTHEASTERLY PROLONGATION OF THAT CERTAIN COURSE IN THE BOUNDARY OF SAID [TRACT NO. 17241](#) WHICH IS SHOWN ON MAP OF SAID [TRACT NO. 17241](#) AS HAVING A BEARING OF NORTH 35°13'35" EAST AND A DISTANCE OF 150.32 FEET;
THENCE SOUTHWESTERLY ALONG SAID NORTHERLY PROLONGATION AND ALONG SAID BOUNDARY LINE 158.85 FEET TO AN ANGLE POINT IN THE BOUNDARY LINE OF SAID [TRACT NO. 17241](#);

EXHIBIT A
Legal Description

THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY BOUNDARY LINE OF SAID [TRACT NO. 17241](#) TO THE POINT OF BEGINNING.

EXCEPTIONS

At the date hereof, items to be considered and exceptions to coverage in addition to the printed exceptions and exclusions in said policy form would be as follows:

1. There were no taxes levied for the fiscal year 2024-2025 as the property was vested in a public entity.
2. The lien of supplemental or escaped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2, Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vestee named in Schedule A or as a result of changes in ownership or new construction occurring prior to Date of Policy.
3. The right and easement in common with owners of the other lots in the Leidel Tract, of all private roads, as contained in the partition deed executed by and between the heirs of Michael Leidel, deceased, recorded in [Book 3858, Page 205](#), of Deeds.
4. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Southern California Water Company
Purpose: pipe lines and their appurtenances, ingress, egress and passage
Recording Date: September 6, 1950
[Recording No.:](#) [3426](#), IN [Book 34227, Page 56](#), Official Records
Affects: that portion of said land described therein
5. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Southern California Edison Company, a corporation
Purpose: public utilities
Recording Date: September 16, 1952
[Recording No.:](#) [3250, Official Records](#)
Affects: that portion of said land described therein
6. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: City of Culver City, a municipal corporation
Purpose: public improvement, ingress and egress
Recording Date: February 2, 1970
[Recording No.:](#) [2679, Official Records](#)
Affects: that portion of said land described therein
7. A lease with certain terms, covenants, conditions and provisions set forth therein.

Dated: March 1, 1997
Lessor: Culver City Unified School District
Lessee: Alameda-Contra Costa Schools Financing Authority
Recording Date: April 8, 1997
[Recording No.:](#) [97-528437](#)

The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.

Affects: The herein described Land and other land.
8. A lease with certain terms, covenants, conditions and provisions set forth therein.

Dated: March 1, 1997
Lessor: Alameda-Contra Costa Schools Financing Authority
Lessee: Culver City Unified School District

Recording Date: April 8, 1997

[Recording No.: 97-528438, Official Records](#)

The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.

Affects: The herein described Land and other land.

9. Matters contained in that certain document

Entitled: Assignment Agreement

Dated: March 1, 1997

Executed by: Alameda-Contra Costa Schools Financing Authority and First Trust of California National Association

Recording Date: April 8, 1997

[Recording No.: 97-528439, Official Records](#)

Reference is hereby made to said document for full particulars.

Affects: The herein described Land and other land.

10. Water rights, claims or title to water, whether or not disclosed by the public records.

11. Matters which may be disclosed by an inspection and/or by a correct ALTA/NSPS Land Title Survey of said Land that is satisfactory to the Company, and/or by inquiry of the parties in possession thereof.

12. Any easements not disclosed by the public records as to matters affecting title to real property, whether or not said easements are visible and apparent.

13. Any rights of the parties in possession of a portion of, or all of, said Land, which rights are not disclosed by the public records.

The Company will require, for review, a full and complete copy of any unrecorded agreement, contract, license and/or lease, together with all supplements, assignments and amendments thereto, before issuing any policy of title insurance without excepting this item from coverage.

The Company reserves the right to except additional items and/or make additional requirements after reviewing said documents.

END OF EXCEPTIONS

PLEASE REFER TO THE "INFORMATIONAL NOTES" AND "REQUIREMENTS" SECTIONS WHICH FOLLOW FOR INFORMATION NECESSARY TO COMPLETE THIS TRANSACTION.

REQUIREMENTS

1. Unrecorded matters which may be disclosed by an Owner's Affidavit or Declaration. A form of the Owner's Affidavit/Declaration is attached to this Preliminary Report/Commitment. This Affidavit/Declaration is to be completed by the record owner of the land and submitted for review prior to the closing of this transaction. Your prompt attention to this requirement will help avoid delays in the closing of this transaction. Thank you.

The Company reserves the right to add additional items or make further requirements after review of the requested Affidavit/Declaration.

2. This Company will require evidence of compliance with the statutory limitations incident to the governmental agency named below, with reference to any conveyance of an interest in the Land this Company will be asked to record and/or rely upon in the issuance of any form of title insurance.

Governmental agency: Culver City Unified School District of Los Angeles County

END OF REQUIREMENTS

INFORMATIONAL NOTES

1. Note: None of the items shown in this report will cause the Company to decline to attach ALTA Endorsement Form 9 to an Extended Coverage Loan Policy, when issued.
2. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.
3. Pursuant to Government Code Section 27388.1, as amended and effective as of 1-1-2018, a Documentary Transfer Tax (DTT) Affidavit may be required to be completed and submitted with each document when DTT is being paid or when an exemption is being claimed from paying the tax. If a governmental agency is a party to the document, the form will not be required. DTT Affidavits may be available at a Tax Assessor-County Clerk-Recorder.
4. Note: The policy of title insurance will include an arbitration provision. The Company or the insured may demand arbitration. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the insured arising out of or relating to this policy, any service of the Company in connection with its issuance or the breach of a policy provision or other obligation. Please ask your escrow or title officer for a sample copy of the policy to be issued if you wish to review the arbitration provisions and any other provisions pertaining to your Title Insurance coverage.

5. The following Exclusion(s) are added to preliminary reports, commitments and will be included as an endorsement in the following policies:
- A. 2006 ALTA Owner's Policy (06-17-06).
6. Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the Public Records but that would be disclosed by an examination of any records maintained by or on behalf of a Tribe or on behalf of its members.
- B. 2006 ALTA Loan Policy (06-17-06)
8. Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the Public Records but that would be disclosed by an examination of any records maintained by or on behalf of a Tribe or on behalf of its members.
9. Any claim of invalidity, unenforceability, or lack of priority of the lien of the Insured Mortgage based on the application of a Tribe's law resulting from the failure of the Insured Mortgage to specify State law as the governing law with respect to the lien of the Insured Mortgage.
- C. ALTA Homeowner's Policy of Title Insurance (12-02-13) and CLTA Homeowner's Policy of Title Insurance (12-02-13).
10. Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the Public Records but that would be disclosed by an examination of any records maintained by or on behalf of a Tribe or on behalf of its members.
- D. ALTA Expanded Coverage Residential Loan Policy - Assessments Priority (04-02-15).
12. Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the Public Records but that would be disclosed by an examination of any records maintained by or on behalf of a Tribe or on behalf of its members.
13. Any claim of invalidity, unenforceability, or lack of priority of the lien of the Insured Mortgage based on the application of a Tribe's law resulting from the failure of the Insured Mortgage to specify State law as the governing law with respect to the lien of the Insured Mortgage.
- E. CLTA Standard Coverage Policy 1990 (11-09-18).
7. Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the public records but that would be disclosed by an examination of any records maintained by or on behalf of a tribe or on behalf of its members.
8. Any claim of invalidity, unenforceability, or lack of priority of the lien of the insured mortgage based on the application of a tribe's law resulting from the failure of the insured mortgage to specify state law as the governing law with respect to the lien of the insured mortgage.
6. Note: There are NO conveyances affecting said Land recorded within 24 months of the date of this report.
7. This Company will require evidence of compliance with the statutory limitations incident to the governmental agency named below, with reference to any conveyance of an interest in the Land this Company will be asked to record and/or rely upon in the issuance of any form of title insurance.

Governmental agency: Culver City Unified School District of Los Angeles County

END OF INFORMATIONAL NOTES



Inquire before you wire!

WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice.
If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. DO NOT use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the number of relevant parties to the transaction as soon as an escrow account is opened.** DO NOT send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:
<http://www.fbi.gov>

Internet Crime Complaint Center:
<http://www.ic3.gov>

FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Effective July 1, 2024

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information);
- biometric data (e.g. fingerprints, retina or iris scans, voiceprints, or other unique biological characteristics, and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

Web Beacons. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for these main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To prevent and detect fraud;
- To maintain the security of our systems, tools, accounts, and applications;
- To verify and authenticate identities and credentials;
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.
- To provide reviews and testimonials about our services, with your consent.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to affiliated or nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to affiliated or nonaffiliated third parties with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (<https://fnf.com/pages/californiaprivacy.aspx>) or call (888) 413-1748.

For Connecticut Residents: For additional information about your Connecticut consumer privacy rights, or to make a consumer privacy request, or to appeal a previous privacy request, please email privacy@fnf.com or call (888) 714-2710.

For Colorado Residents: For additional information about your Colorado consumer privacy rights, or to make a consumer privacy request, or appeal a previous privacy request, please email privacy@fnf.com or call (888) 714-2710.

For Nevada Residents: We are providing this notice pursuant to state law. You may be placed on our internal Do Not Call List by calling FNF Privacy at (888) 714-2710 or by contacting us via the information set forth at the end of this Privacy Notice. For further information concerning Nevada's telephone solicitation law, you may contact: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: aginquiries@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes. For additional information about your Oregon consumer privacy rights, or to make a consumer privacy request, or appeal a previous privacy request, please email privacy@fnf.com or call (888) 714-2710

We may disclose the categories of Personal Information and Browsing information listed above to the following categories of third parties:

- FNF affiliates and subsidiaries;
- Non-affiliated third parties, with your consent;
- Business in connection with the sale or other disposition of all or part of the FNF business and/or assets;
- Service providers;
- Law endorsement or authorities in connection with an investigation, or in response to a subpoena or court order.

For Texas Residents: For additional information about your Texas consumer privacy rights, or to make a consumer privacy request, or appeal a previous privacy request, please email privacy@fnf.com or call (888) 714-2710.

We may disclose the categories of Personal Information and Browsing information listed above to the following categories of third parties:

- FNF affiliates and subsidiaries;
- Non-affiliated third parties, with your consent;
- Business in connection with the sale or other disposition of all or part of the FNF business and/or assets;
- Service providers;
- Law endorsement or authorities in connection with an investigation, or in response to a subpoena or court order.

For Utah Residents: For additional information about your Utah consumer privacy rights, or to make a consumer privacy request, please call (888) 714-2710.

For Vermont Residents: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

For Virginia Residents: For additional information about your Virginia consumer privacy rights, or to make a consumer privacy request, or appeal a previous privacy request, please email privacy@fnf.com or call (888) 714-2710.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

Accessing and Correcting Information; Contact Us

If you have questions or would like to correct your Personal Information, visit FNF's [Privacy Inquiry Website](#) or contact us by phone at (888) 714-2710, by email at privacy@fnf.com, or by mail to:

Fidelity National Financial, Inc.
601 Riverside Avenue,
Jacksonville, Florida 32204
Attn: Chief Privacy Officer

ATTACHMENT ONE

CALIFORNIA LAND TITLE ASSOCIATION STANDARD COVERAGE POLICY - 1990 (11-09-18)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building or zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien, or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
- (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims or other matters:
 - (a) whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured claimant;
 - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
 - (c) resulting in no loss or damage to the insured claimant;
 - (d) attaching or created subsequent to Date of Policy; or
 - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with the applicable doing business laws of the state in which the land is situated.
5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
6. Any claim, which arises out of the transaction vesting in the insured the estate or interest insured by this policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

EXCEPTIONS FROM COVERAGE - SCHEDULE B, PART I

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.

Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
3. Easements, liens or encumbrances, or claims thereof, not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
6. Any lien or right to a lien for services, labor or material unless such lien is shown by the public records at Date of Policy.

EXCEPTIONS FROM COVERAGE - SCHEDULE B, PART II

(Variable exceptions such as taxes, easements, CC&R's, etc., are inserted here)

ATTACHMENT ONE (CONTINUED)

CALIFORNIA LAND TITLE ASSOCIATION STANDARD COVERAGE OWNER'S POLICY (02-04-22) EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - i. the occupancy, use, or enjoyment of the Land;
 - ii. the character, dimensions, or location of any improvement on the Land;
 - iii. the subdivision of land; or
 - iv. environmental remediation or protection.
- b. any governmental forfeiture, police, regulatory, or national security power.
- c. the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.
Exclusion 1 does not modify or limit the coverage provided under Covered Risk 5 or 6.
2. Any power of eminent domain. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 7.
3. Any defect, lien, encumbrance, adverse claim, or other matter:
 - a. created, suffered, assumed, or agreed to by the Insured Claimant;
 - b. not Known to the Company, not recorded in the Public Records at the Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - c. resulting in no loss or damage to the Insured Claimant;
 - d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 9 or 10); or
 - e. resulting in loss or damage that would not have been sustained if consideration sufficient to qualify the Insured named in Schedule A as a bona fide purchaser had been given for the Title at the Date of Policy.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transaction vesting the Title as shown in Schedule A is a:
 - a. fraudulent conveyance or fraudulent transfer;
 - b. voidable transfer under the Uniform Voidable Transactions Act; or
 - c. preferential transfer:
 - i. to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
 - ii. for any other reason not stated in Covered Risk 9.b.
5. Any claim of a PACA-PSA Trust. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 8.
6. Any lien on the Title for real estate taxes or assessments imposed or collected by a governmental authority that becomes due and payable after the Date of Policy.
Exclusion 6 does not modify or limit the coverage provided under Covered Risk 2.b.
7. Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

EXCEPTIONS FROM COVERAGE

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This policy treats any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document are excepted from coverage.

This policy does not insure against loss or damage and the Company will not pay costs, attorneys' fees, or expenses resulting from the terms and conditions of any lease or easement identified in Schedule A, and the following matters:

PART I

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land, or (b) asserted by persons or parties in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.
7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

PART II

(Variable exceptions such as taxes, easements, CC&R's, etc., are inserted here)

ATTACHMENT ONE (CONTINUED)

CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (7-01-21) EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy and We will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - i. the occupancy, use, or enjoyment of the Land;
 - ii. the character, dimensions, or location of any improvement on the Land;
 - iii. the subdivision of land; or
 - iv. environmental remediation or protection.
 - b. any governmental forfeiture, police, or regulatory, or national security power.
 - c. the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.
- Exclusion 1 does not modify or limit the coverage provided under Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23, or 27.
2. Any power to take the Land by condemnation. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 17.
 3. Any defect, lien, encumbrance, adverse claim, or other matter:
 - a. created, suffered, assumed, or agreed to by You;
 - b. not Known to Us, not recorded in the Public Records at the Date of Policy, but Known to You and not disclosed in writing to Us by You prior to the date You became an Insured under this policy;
 - c. resulting in no loss or damage to You;
 - d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 5, 8.f., 25, 26, 27, 28, or 32); or
 - e. resulting in loss or damage that would not have been sustained if You paid consideration sufficient to qualify You as a bona fide purchaser of the Title at the Date of Policy.
 4. Lack of a right:
 - a. to any land outside the area specifically described and referred to in Item 3 of Schedule A; and
 - b. in any street, road, avenue, alley, lane, right-of-way, body of water, or waterway that abut the Land.

Exclusion 4 does not modify or limit the coverage provided under Covered Risk 11 or 21.
 5. The failure of Your existing structures, or any portion of Your existing structures, to have been constructed before, on, or after the Date of Policy in accordance with applicable building codes. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 14 or 15.
 6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transfer of the Title to You is a:
 - a. fraudulent conveyance or fraudulent transfer;
 - b. voidable transfer under the Uniform Voidable Transactions Act; or
 - c. preferential transfer:
 - i. to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
 - ii. for any other reason not stated in Covered Risk 30.
 7. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake, or subsidence.
 8. Negligence by a person or an entity exercising a right to extract or develop oil, gas, minerals, groundwater, or any other subsurface substance.
 9. Any lien on Your Title for real estate taxes or assessments, imposed or collected by a governmental authority that becomes due and payable after the Date of Policy. Exclusion 9 does not modify or limit the coverage provided under Covered Risk 8.a or 27.
 10. Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

- For Covered Risk 16, 18, 19 and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	<u>Your Deductible Amount</u>	<u>Our Maximum Dollar Limit of Liability</u>
Covered Risk 16:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 10,000.00
Covered Risk 18:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 19:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 21:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 5,000.00

ATTACHMENT ONE (CONTINUED)

CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (12-02-13) EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of those portions of any law or government regulation concerning:
 - a. building;
 - b. zoning;
 - c. land use;
 - d. improvements on the Land;
 - e. land division; and
 - f. environmental protection.This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.
2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
3. The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
4. Risks:
 - a. that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records;
 - b. that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date;
 - c. that result in no loss to You; or
 - d. that first occur after the Policy Date - this does not limit the coverage described in Covered Risk 7, 8.e., 25, 26, 27 or 28.
5. Failure to pay value for Your Title.
6. Lack of a right:
 - a. to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and
 - b. in streets, alleys, or waterways that touch the Land.This Exclusion does not limit the coverage described in Covered Risk 11 or 21.
7. The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.
8. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake or subsidence.
9. Negligence by a person or an Entity exercising a right to extract or develop minerals, water, or any other substances.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

- For Covered Risk 16, 18, 19 and 21, Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	<u>Your Deductible Amount</u>	<u>Our Maximum Dollar Limit of Liability</u>
Covered Risk 16:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 10,000.00
Covered Risk 18:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 19:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 21:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 5,000.00

ATTACHMENT ONE (CONTINUED)

ALTA OWNER'S POLICY (07-01-2021)

EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - i. the occupancy, use, or enjoyment of the Land;
 - ii. the character, dimensions, or location of any improvement on the Land;
 - iii. the subdivision of land; or
 - iv. environmental remediation or protection.
 - b. any governmental forfeiture, police, regulatory, or national security power.
 - c. the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.
- Exclusion 1 does not modify or limit the coverage provided under Covered Risk 5 or 6.
2. Any power of eminent domain. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 7.
 3. Any defect, lien, encumbrance, adverse claim, or other matter:
 - a. created, suffered, assumed, or agreed to by the Insured Claimant;
 - b. not Known to the Company, not recorded in the Public Records at the Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - c. resulting in no loss or damage to the Insured Claimant;
 - d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 9 or 10); or
 - e. resulting in loss or damage that would not have been sustained if consideration sufficient to qualify the Insured named in Schedule A as a bona fide purchaser had been given for the Title at the Date of Policy.
 4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transaction vesting the Title as shown in Schedule A is a:
 - a. fraudulent conveyance or fraudulent transfer;
 - b. voidable transfer under the Uniform Voidable Transactions Act; or
 - c. preferential transfer:
 - i. to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
 - ii. for any other reason not stated in Covered Risk 9.b.
 5. Any claim of a PACA-PSA Trust. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 8.
 6. Any lien on the Title for real estate taxes or assessments, imposed or collected by a governmental authority that becomes due and payable after the Date of Policy. Exclusion 6 does not modify or limit the coverage provided under Covered Risk 2.b.
 7. Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

EXCEPTIONS FROM COVERAGE

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This policy treats any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document are excepted from coverage.

This policy does not insure against loss or damage and the Company will not pay costs, attorneys' fees, or expenses resulting from the terms and conditions of any lease or easement identified in Schedule A, and the following matters:

NOTE: The 2021 ALTA Owner's Policy may be issued to afford either Standard Coverage or Extended Coverage. In addition to variable exceptions such as taxes, easements, CC&R's, etc., the Exceptions from Coverage in a Standard Coverage policy will also include the Western Regional Standard Coverage Exceptions listed as 1 through 7 below:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land or (b) asserted by persons or parties in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.
7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

ATTACHMENT ONE (CONTINUED)

2006 ALTA OWNER'S POLICY (06-17-06)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees, or expenses that arise by reason of:

NOTE: The 2006 ALTA Owner's Policy may be issued to afford either Standard Coverage or Extended Coverage. In addition to variable exceptions such as taxes, easements, CC&R's, etc., the Exceptions from Coverage in a Standard Coverage policy will also include the Western Regional Standard Coverage Exceptions listed below as 1 through 7 below:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land, or (b) asserted by persons or parties in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.]
7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

Notice of Available Discounts

Pursuant to Section 2355.3 in Title 10 of the California Code of Regulations Fidelity National Financial, Inc. and its subsidiaries ("FNF") must deliver a notice of each discount available under our current rate filing along with the delivery of escrow instructions, a preliminary report or commitment. Please be aware that the provision of this notice does not constitute a waiver of the consumer's right to be charged the filed rate. As such, your transaction may not qualify for the below discounts.

You are encouraged to discuss the applicability of one or more of the below discounts with a Company representative. These discounts are generally described below; consult the rate manual for a full description of the terms, conditions and requirements for such discount. These discounts only apply to transactions involving services rendered by the FNF Family of Companies. This notice only applies to transactions involving property improved with a one-to-four family residential dwelling.

Not all discounts are offered by every FNF Company. The discount will only be applicable to the FNF Company as indicated by the named discount.

FNF Underwritten Title Companies

CTC - Chicago Title Company
CLTC - Commonwealth Land Title Company
FNTC - Fidelity National Title Company of California
FNTCCA - Fidelity National Title Company of California
TICOR - Ticor Title Company of California
LTC - Lawyer's Title Company
SLTC - ServiceLink Title Company

Underwritten by FNF Underwriters

CTIC - Chicago Title Insurance Company
CLTIC - Commonwealth Land Title Insurance Company
FNTIC - Fidelity National Title Insurance Company
CTIC - Chicago Title Insurance Company

Available Discounts

DISASTER LOANS (CTIC, CLTIC, FNTIC)

The charge for a Lender's Policy (Standard or Extended coverage) covering the financing or refinancing by an owner of record, within twenty-four (24) months of the date of a declaration of a disaster area by the government of the United States or the State of California on any land located in said area, which was partially or totally destroyed in the disaster, will be fifty percent (50%) of the appropriate title insurance rate.

CHURCHES OR CHARITABLE NON-PROFIT ORGANIZATIONS (CTIC, FNTIC)

On properties used as a church or for charitable purposes within the scope of the normal activities of such entities, provided said charge is normally the church's obligation the charge for an owner's policy shall be fifty percent (50%) to seventy percent (70%) of the appropriate title insurance rate, depending on the type of coverage selected. The charge for a lender's policy shall be forty percent (40%) to fifty percent (50%) of the appropriate title insurance rate, depending on the type of coverage selected.

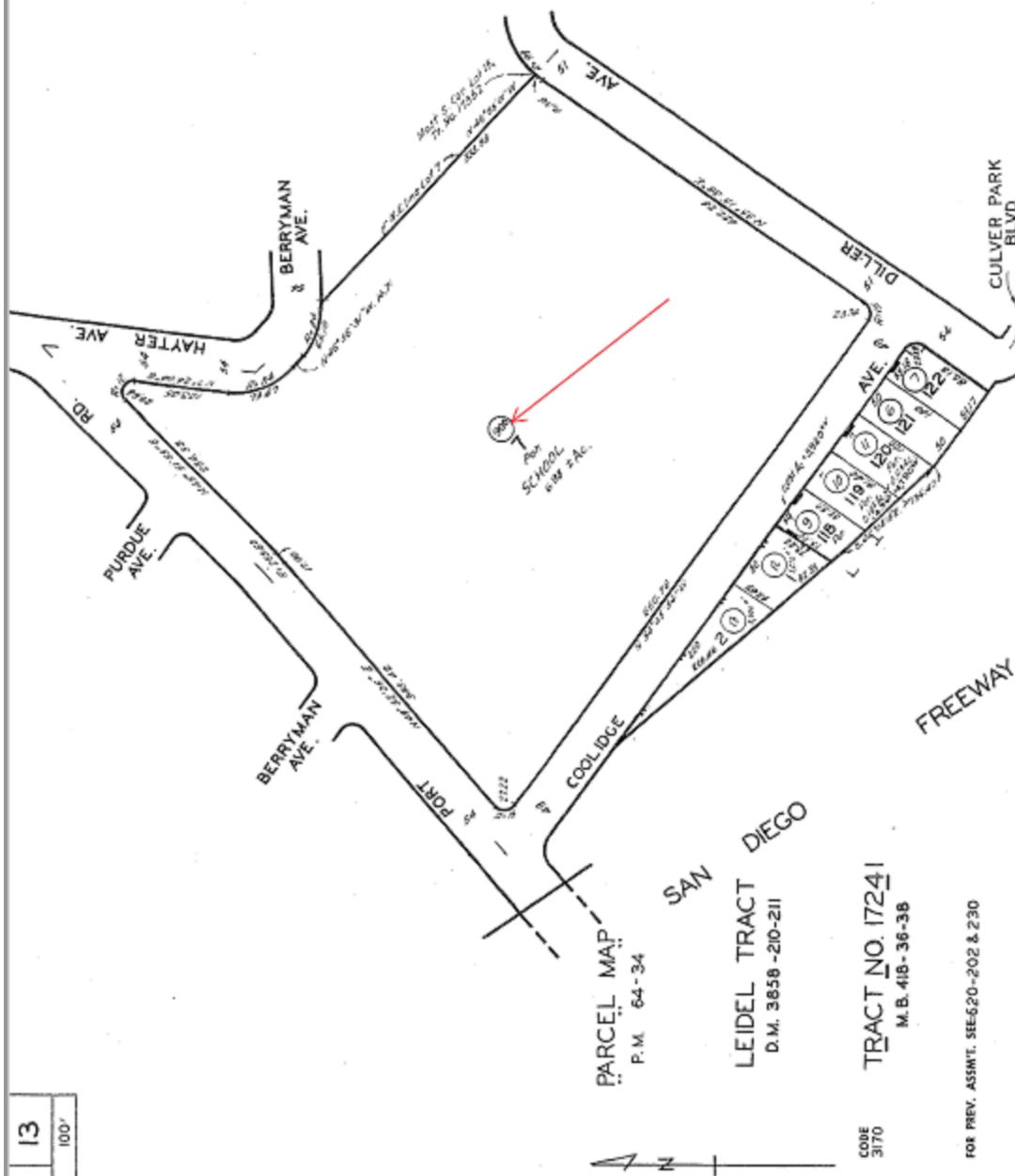
MILITARY DISCOUNT RATE

Upon the Company being advised in writing and prior to the closing of the transaction that an active duty, honorably separated, or retired member of the United States Military or Military Reserves or National Guard is applicable, will be entitled to a discount equal to fifteen percent (15%) of the otherwise applicable rates such party would be charged for the title insurance policies.

Minimum charge: Four Hundred Twenty-Five And No/100 Dollars (\$425.00)

The Company may require appropriate proof of eligibility from the parties to the transaction verifying they are entitled to the discount as described. No other discounts or special rates, or combination of discounts or special rates, shall be applicable.

3-13-22
 4-1-22
 12-12-25
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ASSESSOR'S MAP
 COUNTY OF LOS ANGELES, CALIF.

4216 13
 1" = 100'

This map is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of life insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

THE BASIS FOR THIS MAP IS A PRELIMINARY TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY UNDER FBSC2405133, EFFECTIVE DECEMBER 12, 2024. NO RESPONSIBILITY AS TO THE ACCURACY OF THIS TITLE REPORT IS ASSUMED BY THIS SURVEY.

Geographically locatable items from said title report (such as easements) which affect the subject property as described herein, are shown on this map and are numerically keyed to said title report. Other items listed in Schedule "B" of said title report which may affect the subject property are also numerically keyed to said title report and are as follows:

X - Indicates the exception number of the current preliminary title report mentioned

1. THERE WERE NO TAXES LEVIED FOR THE FISCAL YEAR 2024-2025 AS THE PROPERTY WAS VESTED IN A PUBLIC ENTITY.

2. THE LEIN OF SUPPLEMENTAL OR ESCROWED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MAY, IN ANY EVENT, BE AFFECTED BY THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA, AS AMENDED, AND THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA, AS AMENDED, IN CONNECTION WITH THE TRANSFER OF TITLE TO THE VESSEL NAMED IN ARTICLE 1A OF THIS INSTRUMENT, AND THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA, AS AMENDED, IN CONNECTION WITH ANY NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF RESULT.
3. THE RIGHT AND EASEMENT IN COMMON WITH OWNERS OF THE OTHER LOTS IN THE LEVEL TRACT OF ALL PRIVATE ROADS, AS CONTAINED IN THE PARTITION DEED EXECUTED BY AND BETWEEN THE HEIRS OF MICHAEL LEVIN, DECEASED, RECORDING IN BOOK 3804, PAGE 205, OF DEEDS, EASEMENTS (S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENT THEREOF, AS GRANTED TO SOUTHERN CALIFORNIA WATER COMPANY GRANTED TO SOUTHERN CALIFORNIA WATER COMPANY PURPOSE: PIPE LINES AND THEIR APPURTENANCES, INGRESS, EGRESS AND PASSAGE RECORDING NO. 3408, IN BOOK 34227, PAGE 64, OF OFFICIAL RECORDS RECORDING NO. 3408, IN BOOK 34227, PAGE 64, OF OFFICIAL RECORDS
4. EASEMENTS (S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENT THEREOF, AS GRANTED TO SOUTHERN CALIFORNIA WATER COMPANY GRANTED TO SOUTHERN CALIFORNIA WATER COMPANY PURPOSE: PIPE LINES AND THEIR APPURTENANCES, INGRESS, EGRESS AND PASSAGE RECORDING NO. 3408, IN BOOK 34227, PAGE 64, OF OFFICIAL RECORDS RECORDING NO. 3408, IN BOOK 34227, PAGE 64, OF OFFICIAL RECORDS
5. EASEMENTS (S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENT THEREOF, AS GRANTED TO SOUTHERN CALIFORNIA WATER COMPANY GRANTED TO SOUTHERN CALIFORNIA WATER COMPANY PURPOSE: PIPE LINES AND THEIR APPURTENANCES, INGRESS, EGRESS AND PASSAGE RECORDING NO. 3408, IN BOOK 34227, PAGE 64, OF OFFICIAL RECORDS RECORDING NO. 3408, IN BOOK 34227, PAGE 64, OF OFFICIAL RECORDS
6. EASEMENTS (S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENT THEREOF, AS GRANTED TO SOUTHERN CALIFORNIA WATER COMPANY GRANTED TO SOUTHERN CALIFORNIA WATER COMPANY PURPOSE: PIPE LINES AND THEIR APPURTENANCES, INGRESS, EGRESS AND PASSAGE RECORDING NO. 3408, IN BOOK 34227, PAGE 64, OF OFFICIAL RECORDS RECORDING NO. 3408, IN BOOK 34227, PAGE 64, OF OFFICIAL RECORDS
7. A LEASE WITH CERTAIN TENES, COORDINATES, CONDITIONS AND PROVISIONS SET FORTH THEREIN, LESSOR: CULVER CITY UNITED SCHOOL DISTRICT LESSOR: ALAMEN-COSTA COSTA SCHOOLS FINANCING AUTHORITY LESSOR: CULVER CITY UNITED SCHOOL DISTRICT RECORDING NO. 97-526349, OFFICIAL RECORDS RECORDING NO. 97-526349, OFFICIAL RECORDS
8. A LEASE WITH CERTAIN TENES, COORDINATES, CONDITIONS AND PROVISIONS SET FORTH THEREIN, LESSOR: CULVER CITY UNITED SCHOOL DISTRICT LESSOR: ALAMEN-COSTA COSTA SCHOOLS FINANCING AUTHORITY LESSOR: CULVER CITY UNITED SCHOOL DISTRICT RECORDING NO. 97-526349, OFFICIAL RECORDS RECORDING NO. 97-526349, OFFICIAL RECORDS
9. MATTERS INVOLVED IN THAT CERTAIN DOCUMENT ENTITLED, ASSIGNMENT URGEMENT EXECUTED BY ALAMEN-COSTA COSTA SCHOOLS FINANCING AUTHORITY AND FIRST TRUS. -- CALIFORNIA NATIONAL ASSOCIATION RECORDING NO. 97-526349, OFFICIAL RECORDS RECORDING NO. 97-526349, OFFICIAL RECORDS

10. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.

11. MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTERNATIVE TO THE LITIGATION, AND/OR BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EXAMINATIONS ARE VISIBLE AND APPARENT.
12. ANY EXAMINATIONS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EXAMINATIONS ARE VISIBLE AND APPARENT.
13. ALL RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTERNATIVE TO THE LITIGATION, AND/OR BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EXAMINATIONS ARE VISIBLE AND APPARENT.

DATE:	TIME:	NO.	BY	DATE	REVISIONS:
SERVER:	LAYOUT:				
PATH:					
DRAWING NAME:					
PAGE SETUP:					
DESIGNER:	PROJ. NO.				

CAUTION: The engineer preparing these plans will not be responsible for or liable for unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
THAT PORTION OF LOT OR PARCEL NO. 7 OF THE LEIDEL TRACT, IN THE CITY OF CULVER CITY,
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 3958 PAGES
210 AND 211 OF DEEDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED
AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTHWESTERLY LINE OF SAID LOT 7, DISTANT NORTH 50°21' EAST, THEREON 7.13 CHAINS FROM THE MOST WESTERLY CORNER OF SAID LOT 7;

THEENCE PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT 7, SOUTH 55° EAST, 12.63 CHAINS, MORE OR LESS, TO A POINT IN A STRAIGHT LINE BETWEEN A POINT IN THE NORTHEASTERLY LINE OF SAID LOT 7, DISTANT NORTH 46°18' WEST, THEREON 7.69 CHAINS FROM THE MOST EASTERLY CORNER OF SAID LOT 7, AND THE ANGLE POINT IN THE SOUTHERLY LINE OF SAID LOT 7, AT THE WESTERLY EXTREMITY OF THE COURSE IN SAID SOUTHERLY LINE SHOWN ON SAID MAP AS "SOUTH 85°11' WEST, 10.03 CHAINS";

THENCE ALONG SAID STRAIGHT LINE, NORTH 35°47'30" EAST, 4.39 CHAINS TO SAID POINT IN SAID NORTHEASTERLY LINE:

THENCE ALONG SAID NORTHEASTERLY LINE, NORTH 46°18' WEST, 8.96 CHAINS TO AN ANGLE POINT
TUESDAY

THENCE NORTH 7°42' EAST, ALONG THE BOUNDARY LINE OF SAID LOT 7, A DISTANCE OF 3.62

THENCE ALONG THE NORTHWESTERLY LINE OF SAID LOT 7, SOUTH 47°20' WEST, 5.24 CHAINS TO

POINT OF BEGINNING.

CAMILLO CEREGHINO AND MARIE LOUISE CEREGHINO, HUSBAND AND WIFE, IN DEED RECORDED APRIL 23, 1951, AS INSTRUMENT NO. 230. OFFICIAL RECORDS.

ALSO EXCEPT THAT PORTION OF SAID LAND LYING WITHIN THE LINES OF LAND DESCRIBED IN DEED RECORDED NOVEMBER 21, 1951 AS INSTRUMENT NO. 1268 OFFICIAL RECORDS.

PARCEL 2:

THAT PORTION OF LOT 7 OF THE LEIDEL TRACT, IN THE RANCHO LA BALLONA, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1858, PAGE 210 AND 211, OFFICE OF THE COUNTY CLERK OF SAID COUNTY.

COUNTY, DESCRIBED AS FOLLOWS:

BOOK 418, PAGES 36, 37 AND 38 OF MAPS, RECORDS OF LOS ANGELES COUNTY;

392 PAGES 41 TO 44 OF MAPS, RECORDS OF LOS ANGELES COUNTY, NORTH 49°52'36" EAST, 144.97 FEET, MORE OR LESS, TO THE MOST WESTERLY CORNER OF THAT PARCEL OF LAND

RECORDED IN BOOK 36108 PAGE 46 OF OFFICIAL RECORDS OF SAID COUNTY;

THENCE ALONG THE SOUTHWESTERLY LINE OF 300 AND 200 FEET, TO THE COLVER CITY UNIFIED SCHOOL DISTRICT OF LOS ANGELES COUNTY; SOUTH 55°34'37" EAST, 703.48 FEET, MORE OR LESS TO A POINT IN THE NORTHEASTERLY DISCONTINUATION OF THAT CERTAIN COLISEE IS THE BOUNDARY

OF SAID TRACT NO. 17241 WHICH IS SHOWN ON MAP OF SAID TRACT NO. 17241 AS HAVING A BEARING OF NORTH 35°13'35" EAST AND A DISTANCE OF 150.32 FEET;

THENCE SOUTHWESTERLY ALONG SAID NORTHERLY PROLONGATION AND ALONG SAID BOUNDARY LINE 158.85 FEET TO AN ANGLES POINT IN THE BOUNDARY LINE OF SAID TRACT NO. 17241;

APN: 4208-023-902

BEARINGS ARE REFERENCED TO GRID NORTH AS DEFINED BY THE CALIFORNIA COORDINATE SYSTEM 1983, ZONE 5, EPOCH 2010 AND ARE BASED ON FOUND MONUMENTS SHOWN HEREON PER EXTENDED GPS OBSERVATION AND RECALCULATED BY NGS FROM THE NAD 83 DATUM.

THE CENTERLINE OF COOLIDGE AVENUE BEING NORTH 53°40'10" WEST

ELEVATIONS SHOWN ARE ON THE NAVD88 DATUM, DETERMINED LOCALLY BY THE LOS ANGELES COUNTY BENCHMARK "515204". POINT IS A LEAD & SCREW IN CENTER OF CURB RETURN OF ISLAND, 63 FEET NORTH OF CENTERLINE OF Slauson Ave AT INTERSECTION OF CENTERLINE PRODUCTION OF BRISTOL PARKWAY AT CENTERLINE ENTRYWAY TO HOLY CROSS CEMETERY, 0.5 MILES EAST OF SEPULVEDA BLVD.

ELEVATION = 103.062 FEET



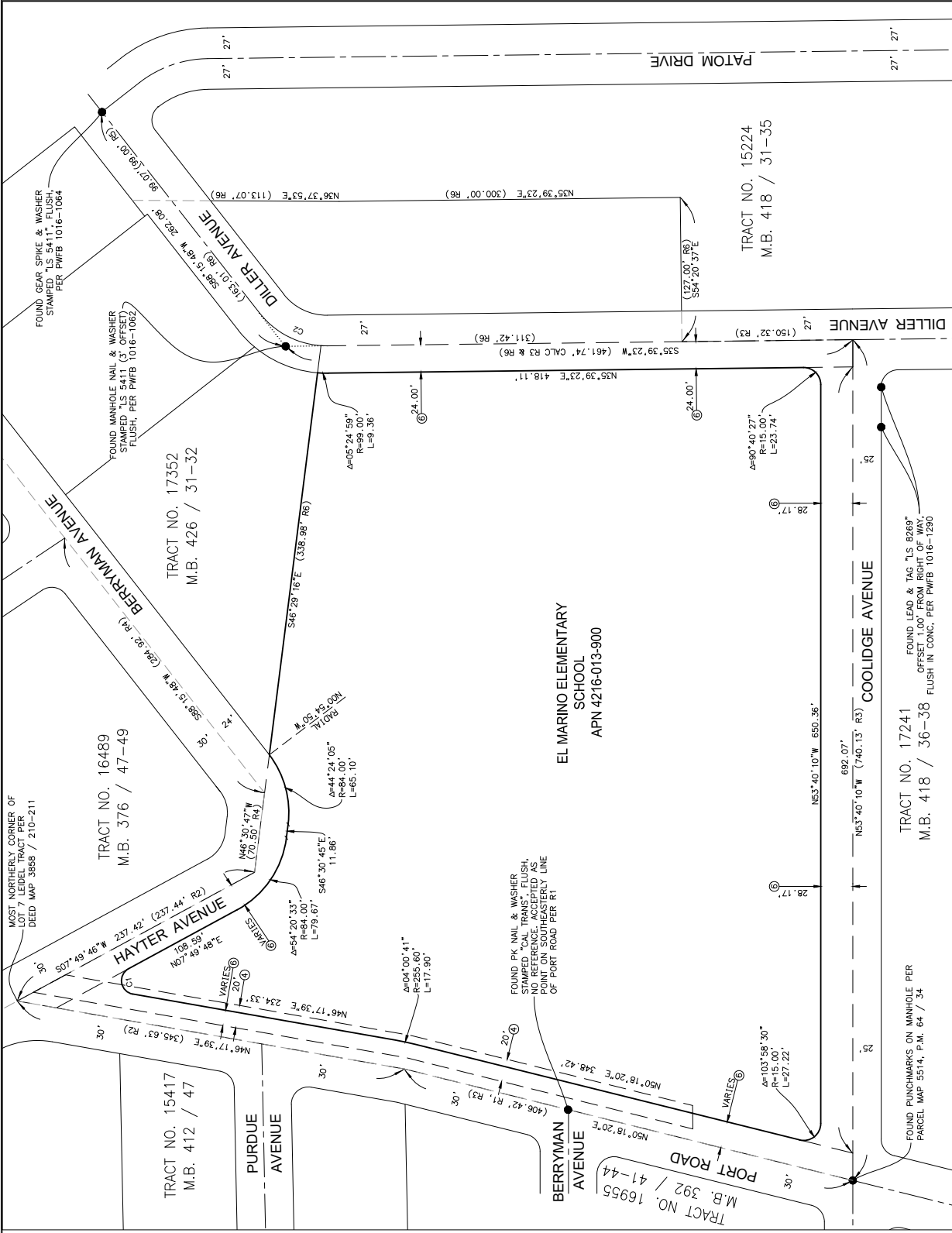
THIS BOUNDARY CONSTRAINTS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE PROFESSIONAL LAND SURVEYOR'S ACT ON JANUARY 9, 2025. IT IS COMPILED FROM A PRELIMINARY TITLE REPORT AND RECORD DOCUMENTATION.

J BRALEY
L.S. 8446
02-04-2025

EL MARINO ELEMENTARY SCHOOL BOUNDARY CONSTRAINTS
11450 PORT ROAD
CULVER CITY, CA 90230

PREPARED FOR: CULVER CITY UNIFIED SCHOOL DISTRICT

15092 AVENUE OF SCIENCE, SUITE 200
SAN DIEGO, CA 92128
P: 858.385.0500
WWW.NV5.COM



NOTES

(00) RECORD DATA REFERENCED HEREON WILL BE SHOWN WITHIN PARENTHESES ACCOMPANIED WITH A RETROFITTED RECORD MAP.

RECORD REFERENCES

R1 RECORD DATA PER TRACT NO. 16955, BOOK 105 OF MAPS, PAGES 41-44

R2 RECORD DATA PER TRACT NO. 15417, BOOK 472 OF MAPS, PAGE 47

R3 RECORD DATA PER TRACT NO. 17241, BOOK 418 OF MAPS, PAGES 36-38

R4 RECORD DATA PER TRACT NO. 16489, BOOK 376 OF MAPS, PAGES 47-49

R5 RECORD DATA PER TRACT NO. 15224, BOOK 418 OF MAPS, PAGES 31-35

R6 RECORD DATA PER TRACT NO. 17352, BOOK 426 OF MAPS, PAGES 31-32

DATE:	TIME:	NO.	BY	DATE	REVISIONS:
SHEET:	LAYOUT:				
PAID:	NAME:				
PAGE SETUP:	PROJ. MOD:				
DESIGNER:					

CAUTION: The engineer warrants these plans and the responsibility for or liability for unanticipated changes to or plans of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

DATE: 02/04/2025

DATE SUBMITTED: 02/04/2025

PREPARED FOR: CULVER CITY UNIFIED SCHOOL DISTRICT

11450 PORT ROAD
CULVER CITY, CA 90230

EL MARINO ELEMENTARY SCHOOL BOUNDARY CONSTRAINTS

11450 PORT ROAD
CULVER CITY, CA 90230

1500 AVENUE OF SCIENCE, SUITE 200
SAN DIEGO, CA 92128
P: 619.585.0500
WWW.NV5.COM

NV5

TRACT NO. 17241
M.B. 418 / 36-38
FOUND LEAD & TIG T/S 8269"
OFFSET 10' FROM RIGHT OF WAY
FLUSH IN CONC. PER PWB 1016-1290

TRACT NO. 15224
M.B. 418 / 31-35

OF 3 SHEETS

SCALE

HORIZONTAL: 1" = 40'

VERTICAL: 1" = 20'

SHEET NUMBER
24-000126

ARC TABLE			
NO.	DELTA	RADIUS	LENGTH
C1	141°32'09"	12.00'	29.64'
C2	62°36'25"	75.00'	68.96'
			RE



LEGEND

- TREE
- SNOW
- LIGHT POLE / POWER POLE
- FOUND SURVEY MONUMENT
- SURVEY CONTROL POINT
- SEWER MANHOLE
- STORM DRAIN MANHOLE
- MISC. MANHOLE
- IRRIGATION VALVE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- WATER BLOWOFF
- TELECOM PULLBOX
- SPOT ELEVATION
- 1017.21'
- WHEELCHAIR RAMP
- MAJOR CONTOUR
- MINOR CONTOUR



GRAPHIC SCALE
0' 25' 50' 100'
SCALE 1" = 50'

DATE:	TIME:	NO.	BY	DATE	REVISIONS:
SERIES:	LAYOUT:				
PATH:	NAME:				
PAGE SETUP:					
DESIGNER:	PROJ. MGR:				
CAUTION: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or use of these.					

NV5
1500 AVENUE OF SCIENCE, SUITE 200
SAN JOSE, CA 95128
P: 408.353.0200
WWW.NV5.COM

EL MARINO ELEMENTARY SCHOOL TOPOGRAPHIC MAP
11450 PORT RD
CULVER CITY, CA 90230

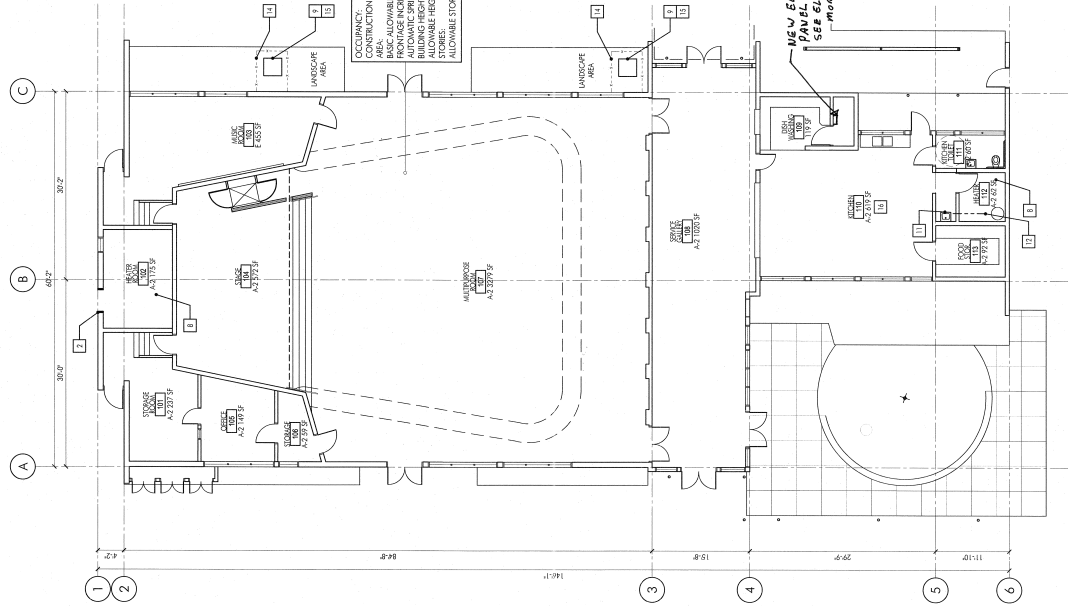
DATE SUBMITTED: 01/29/2025
PREPARED FOR: CULVER CITY UNIFIED SCHOOL DISTRICT

SHEET NUMBER
3
OF 3 SHEETS
SCALE
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VERTICAL: 1" = 20'
JOB NUMBER
24-0006126

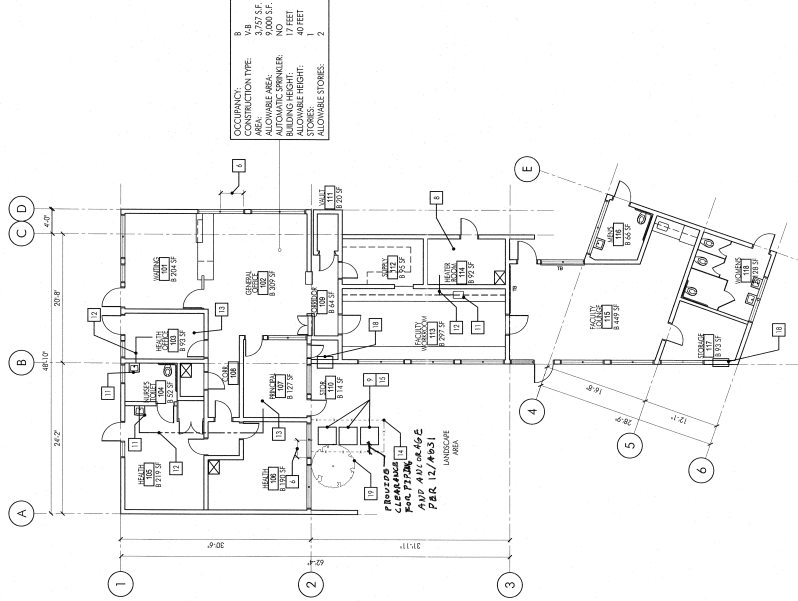
12.C APPENDIX

Original drawings
of the existing buildings

FRONTAGE INCREASES	AMOUNT OF INCREASE	SINGLE OCCUPANCY
MINIMUM FRONTAGE:	$l = (F/P \div 25) \times 30$	ONE-STORY
$W = (L \times W_1) / P$	$l = 428$	$A_1 = A_1 + (NS \times l)$
$L_1 = 428$ FEET	$P = 428$	$A_2 = 6,000$
$W_1 = 30$ FEET	$P = 428 \div (F/P \div 25) \times 30$	$NS = 6,000$
$F = 428$ FEET	$l = (428 \div (F/P \div 25) \times 30) \div 30$	$A_3 = 6,000 + 6,000 \times 75$
$W = 30$	$l = 75$	$A_4 = 6,000 + 4,500$
		$A_5 = 10,500 \text{ SF}$



2 BUILDING 2 FLOOR PLAN

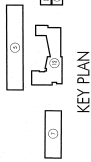


BUILDING 1 FLOOR PLAN

SCALE: 1/8" = 1'-0"



KEY PLAN



KEYNOTES:

- [illegible]

Architect:

RACHLIN
P A R T N E R S
6640 National Boulevard
Culver City, CA 90232
310.204.3400

Consultants

Architect / Engineer Stamp



DSA Stamp



Air Quality Mitigation & HVAC (DSA)

Phase 2B
Culver City USD - El Marino Elementary
11450 Port Road, Culver City, California 90232

Buildings 1, 2 Floor Plan

Date: 05.05.2016
Scale: As Shown
Drawn By: AC
Checked By: RI

Due Date: 10/21/2014

Date: 10.21.2016
Scale: As Shown

- 1 EXISTING SURFACE AND COOLING COIL. FIT WITH NEW COOLANT LINE TO CONDENSER UNIT ON ROOF. SEE MECHANICAL FOR COOLANT LINE SIZES AND SLOPE. REMOVE EXISTING COIL AND REFRIGERANT. REMOVE EXISTING VERTICAL DUCT AND REFRIGERANT. REMOVE EXISTING COIL AND REFRIGERANT. REMOVE EXISTING COIL AND REFRIGERANT.
- 2 INSTALL COOLING COIL (R-410A) AND REFRIGERANT. FIT WITH NEW COOLANT LINE TO CONDENSER UNIT ON ROOF. SEE MECHANICAL FOR COOLANT LINE SIZES AND SLOPE. REMOVE EXISTING COIL AND REFRIGERANT. REMOVE EXISTING COIL AND REFRIGERANT. REMOVE EXISTING COIL AND REFRIGERANT.
- 3 REMOVE AND SAVE DUCT PORTABLE AIR UNIT AND DUCTING. REMOVE PYLON PANEL AND INSTALL 1/4" GLASS WITH MINIMUM AIRFLOW IN EXISTING FRAME.
- 4 REMOVE AND SAVE DUCT PORTABLE AIR UNIT AND DUCTING. REMOVE PYLON PANEL AND INSTALL 1/4" GLASS WITH MINIMUM AIRFLOW IN EXISTING FRAME.
- 5 REMOVE AND SAVE DUCT PORTABLE AIR UNIT AND DUCTING. REMOVE PYLON PANEL AND INSTALL 1/4" GLASS WITH MINIMUM AIRFLOW IN EXISTING FRAME.

 $\sigma_{\Delta I F} = 1/8^{\circ} = 1.2^{\circ}$  $\sigma_{\Delta IF} = 1.08^\circ = 1.07^\circ$ 

SCALE: 1/8" = 1'-0"



- 1 REMOVE FIREPLACE AND COOLING COIL. ATTACH NEW COOLANT LINE TO CONDENSING UNIT ON ROOF. SEE MECHANICAL FOR ADDITIONAL INFORMATION. MODIFY CASHFLO FOR 1984/1 TYPE FOR CLASSROOMS. NO ROOF FOR LIBRARY. VERTICAL
- 2 INSTALL CONDENSING DRAIN AND DRY-WEED VALVE. SEE S403.1. SLOPE AND TRIM CUT EXISTING CONCRETE SLAB AS NEEDED TO GET NEW FLOOR. LOCATION TO BE FIELD APPROVED BY ARCHITECT. SEE MECHANICAL FOR ADDITIONAL INFORMATION.
- 3 REMOVE AND SALVAGE PORTABLE A/C UNIT AND DUCTING. REMOVE PLYWOOD PANEL AND INSTALL 1/4" GLASS WITH WINDOW PUT IN EXISTING FRAME.
- 4 REMOVE AND SALVAGE PORTABLE A/C UNIT AND DUCTING. REMOVE PLYWOOD AND PLASTIC DUCT SHOULD VERIFY SEAL OF WINDOW REPAIRS IS NECESSARY.



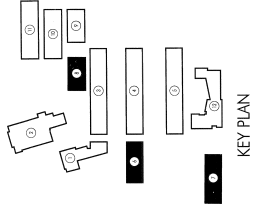
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



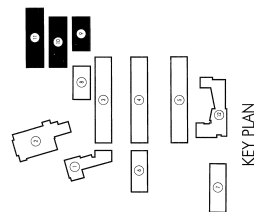
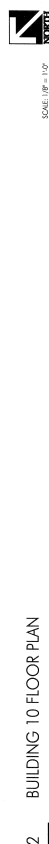
SCALE: 1/8" = 1'-0"



KEY PLAN

KEYNOTES:

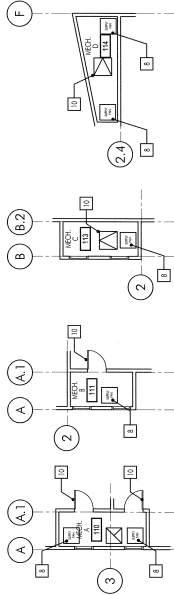
- 1. EXTENDING HANGING AND COOLING COIL ATTACH NEW COOLANT LINE TO CONDENSER UNIT ON ROOF. SEE MECHANICAL FOR ADDITIONAL INFORMATION. VERIFY CASEWORK FOR TYPICAL TYP. FOR CLASSROOM. 20MMBT FOR LIBRARY TYPICAL.
- 2. INSTALL CONDENSER DRAIN AND DRY-PYRELL. VERIFY SLOPED AND TRACED EXISTING CONDENSER DRAIN AS NEEDED. VERIFY IN UNITS. DRAINAGE DRAIN TO BE APPROVED BY ARCHITECT. FOR MECHANICAL FOR ADDITIONAL INFORMATION.
- 3. REMOVE AND DISCARD PORTABLE AIR UNIT IN WADP. SEE MECHANICAL FOR ADDITIONAL TYP. WILL SEE MECHANICAL FOR ADDITIONAL INFORMATION.
- 4. REMOVE AND DISCARD PORTABLE AIR UNIT AND DUCTING. REMOVE 1" VINYL PANEL AND INSTALL 1/4" GLASS WITH REMOVED PUTTY IN EXISTING FRAME.
- 5. REMOVE PUTTY IN EXISTING FRAME.
- 6. REMOVE PUTTY IN EXISTING FRAME.
- 7. REMOVE AND DISCARD PORTABLE AIR UNIT AND DUCTING. REMOVE 1" VINYL PANEL AND PLASTIC DUCT. SHOULD VERIFY SEAL OF WINDOW REPAIR AS NECESSARY.
- 8. REMOVE AND DISCARD PORTABLE AIR UNIT AND DUCTING. REMOVE 1" VINYL PANEL AND PLASTIC DUCT. SHOULD VERIFY SEAL OF WINDOW REPAIR AS NECESSARY.
- 9. REMOVE AND DISCARD PORTABLE AIR UNIT AND DUCTING. REMOVE 1" VINYL PANEL AND PLASTIC DUCT. SHOULD VERIFY SEAL OF WINDOW REPAIR AS NECESSARY.
- 10. REMOVE AND DISCARD PORTABLE AIR UNIT AND DUCTING. REMOVE 1" VINYL PANEL AND PLASTIC DUCT. SHOULD VERIFY SEAL OF WINDOW REPAIR AS NECESSARY.



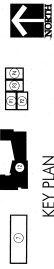
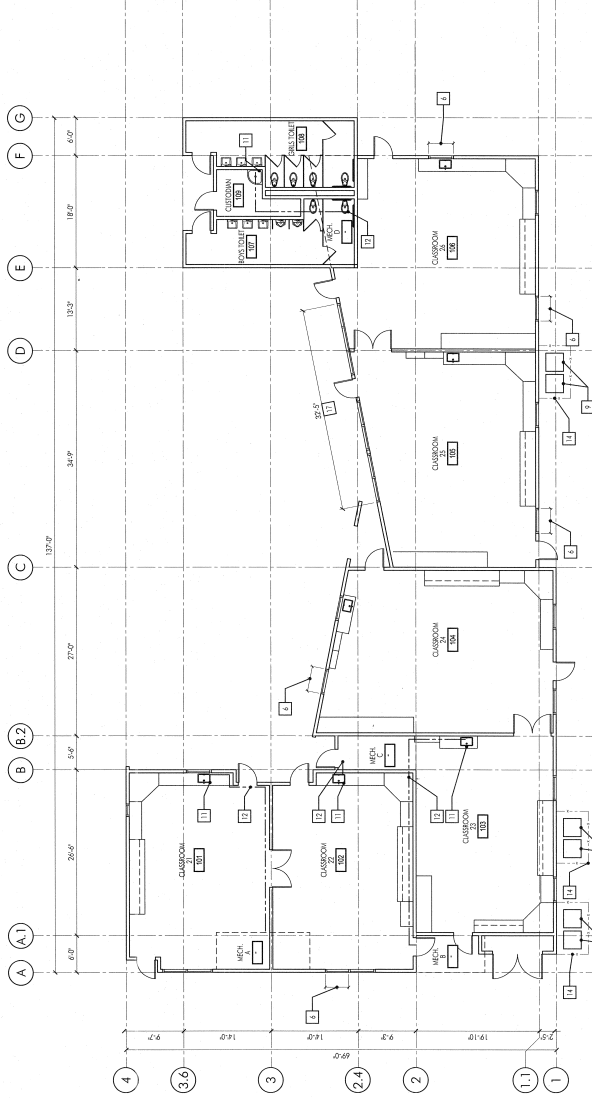
KEYNOTES:

- 1 REMOVE AND SALVAGE PORTABLE A/C UNIT AND DUCTING. REMOVE EXISTING WOOD AND PLASTIC DUCT THROUGH VERBLY SEAL OF WINDOW REPAIR AS NECESSARY.
- 2 EXISTING CONDENSATE LINE ROUTING (VERIFY IN FIELD LOCATION) TO BE FIELD APPROVED BY ARCHITECT. SEE GENERAL NOTES FOR CONDENSATE LINE ROUTING. SEE MECHANICAL FOR ADDITIONAL INFORMATION.
- 3 NEW CONDENSATE LINE AT GRADE. ROUTE COOLANT LINES TO NEW COOLING COIL. ALL EXTERIOR EXPOSED COOLANT LINES SHALL BE COVERED BY BRICK METAL SURROUND AT WALLS. SEE MECHANICAL FOR ADDITIONAL INFORMATION.
- 4 EXISTING ACCESS HATCH TO REMAIN.
- 5 EXISTING SINK FOR CONDENSATE LINE ROUTING.
- 6 GENERAL CONDENSATE LINE ROUTING (VERIFY IN FIELD LOCATION) TO BE FIELD APPROVED BY ARCHITECT. SEE GENERAL NOTES FOR CONDENSATE LINE ROUTING. SEE MECHANICAL FOR ADDITIONAL INFORMATION.
- 7 EXISTING SINK FOR CONDENSATE LINE ROUTING.
- 8 EXISTING 2x4 WOOD STUD WALLS EXTERIOR WALLS ARE 7'6" EXTERIOR STUCCO AND 5/8" OPTIMUM BOARD WITH SHEEL.
- 9 EXISTING 2x4 WOOD STUD WALLS EXTERIOR WALLS ARE 7'6" EXTERIOR STUCCO AND 5/8" OPTIMUM BOARD WITH SHEEL.
- 10 EXISTING 2x4 WOOD STUD WALLS EXTERIOR WALLS ARE 7'6" EXTERIOR STUCCO AND 5/8" OPTIMUM BOARD WITH SHEEL.
- 11 EXISTING 2x4 WOOD STUD WALLS EXTERIOR WALLS ARE 7'6" EXTERIOR STUCCO AND 5/8" OPTIMUM BOARD WITH SHEEL.
- 12 EXISTING 2x4 WOOD STUD WALLS EXTERIOR WALLS ARE 7'6" EXTERIOR STUCCO AND 5/8" OPTIMUM BOARD WITH SHEEL.
- 13 EXISTING 2x4 WOOD STUD WALLS EXTERIOR WALLS ARE 7'6" EXTERIOR STUCCO AND 5/8" OPTIMUM BOARD WITH SHEEL.
- 14 EXISTING 2x4 WOOD STUD WALLS EXTERIOR WALLS ARE 7'6" EXTERIOR STUCCO AND 5/8" OPTIMUM BOARD WITH SHEEL.
- 15 EXISTING 2x4 WOOD STUD WALLS EXTERIOR WALLS ARE 7'6" EXTERIOR STUCCO AND 5/8" OPTIMUM BOARD WITH SHEEL.
- 16 EXISTING 2x4 WOOD STUD WALLS EXTERIOR WALLS ARE 7'6" EXTERIOR STUCCO AND 5/8" OPTIMUM BOARD WITH SHEEL.
- 17 EXISTING 2x4 WOOD STUD WALLS EXTERIOR WALLS ARE 7'6" EXTERIOR STUCCO AND 5/8" OPTIMUM BOARD WITH SHEEL.

2 BUILDING 12 MECAHNICAL PENTHOUSE FLOOR PLAN



1 BUILDING 12 FLOOR PLAN



KEYNOTES

KEYNOTES DO NOT DESCRIBE CONSTRUCTION MATERIALS, METHODS, TECHNIQUES, OR EQUIPMENT. THEY ARE INTENDED TO INDICATE THE LOCATION OF THE WORK TO BE PERFORMED. THE SUBMITTER OF THESE KEYNOTES IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE SUBMITTER SHALL BE RESPONSIBLE FOR THE WORK IN THE MANNER HE DEEMS NECESSARY.

Dougherty ■ *Dougherty*
Architecture • Planning • Interior Design
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San Jose, CA 95134
(415) 437-0277

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Consultant

Architect Seal



Consultant Seal

RELOCATABLE CLASSROOMS
EL MARINO ELEMENTARY SCHOOL
CULVER CITY, CALIFORNIA

FLOOR PLAN

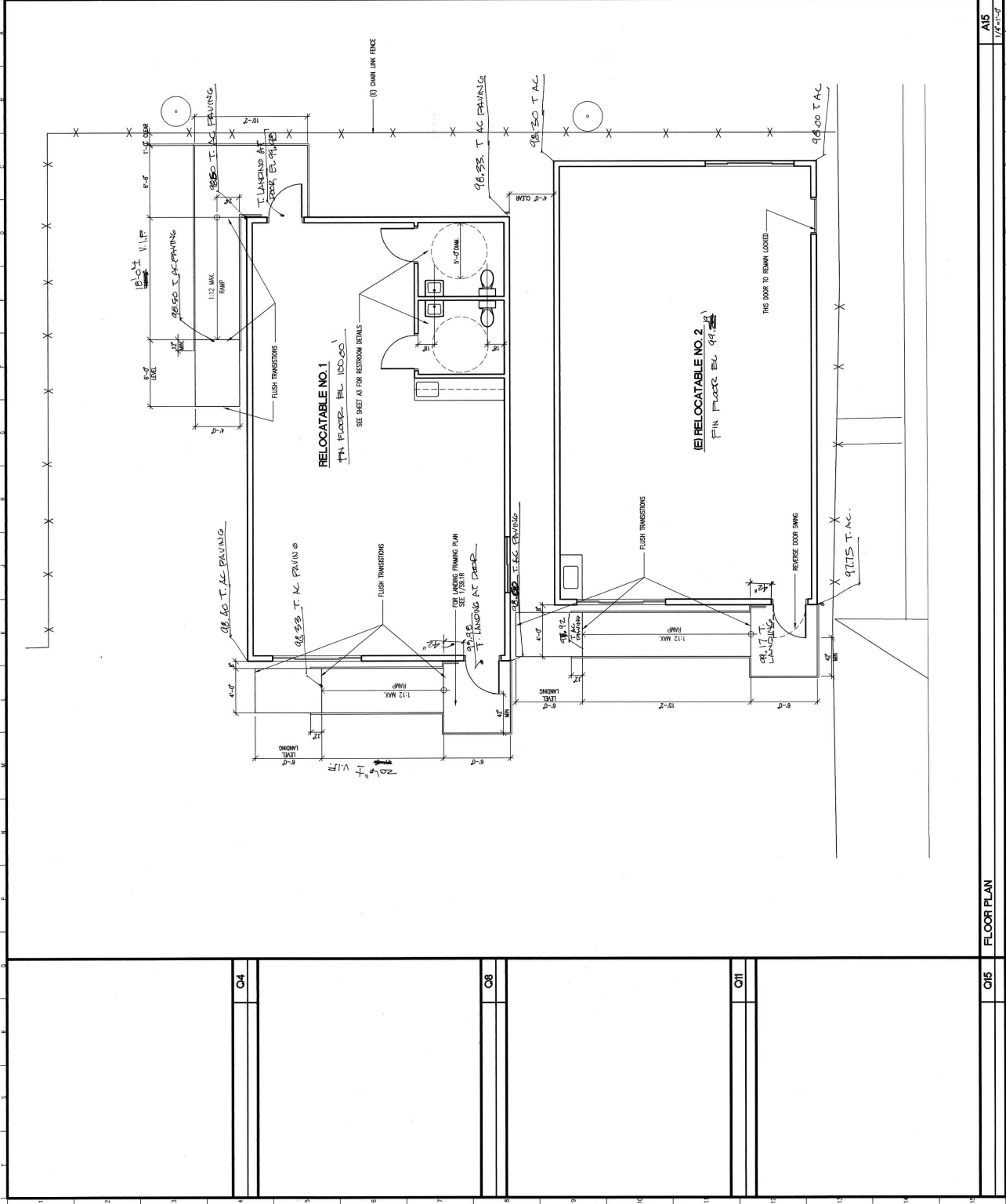
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Drawn:	
Revised:	

A101

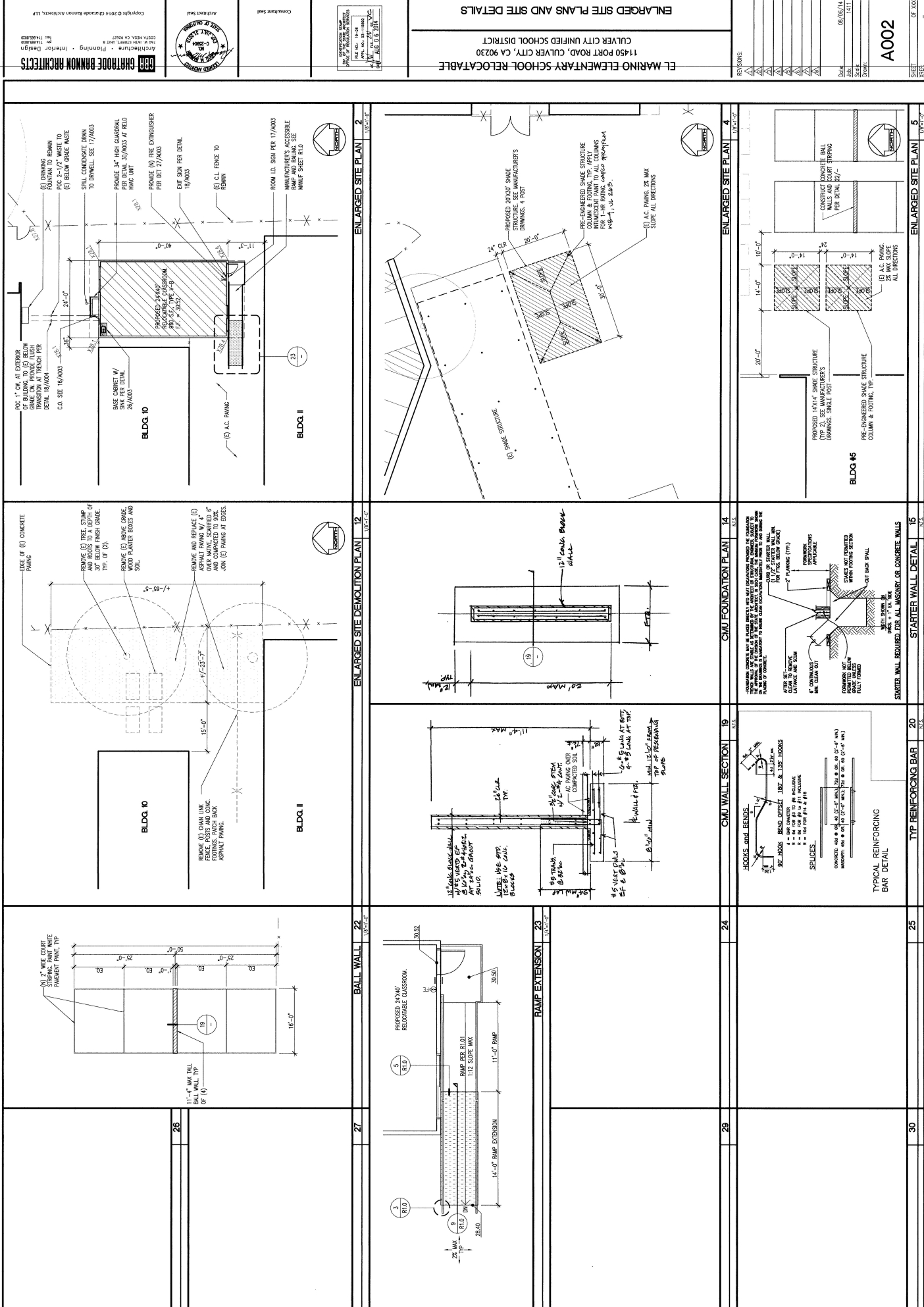
GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS, FLUSH TRANSITIONS, GRADES, SITE ELEVATIONS, AND LOCATIONS OF EXISTING UTILITIES, PIPES, AND/OR STRUCTURES TO THE START OF WORK OR PORTIONS OF THE WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND EXISTING CONDITIONS. THE RESULT OF INFORMATION SHOWN ON AVAILABLE RECORDS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE DISTANCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY SEPARATE FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
- ALL STANDARDS, MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE CALIFORNIA STATE BUILDING CODE AND ALL OTHER GOVERNING CODES, ORDINANCES, REGULATIONS, AND LAWS.
- WHERE ANY CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF THE CALIFORNIA STATE BUILDING CODE, LOCAL LAWS, CODES, ORDINANCES, RULES, AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- OCCUPATIONAL SAFETY AND HEALTH: THESE DOCUMENTS, AND THE CONSTRUCTION HEREBY, SHALL BE SUBJECT TO INSPECTION BY ALL AGENCIES AND AGENCIES OF THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT OF 1973 (CAL/OSHA) AND ALL UPDATES SINCE.

REVISIONS
NO. 1
DATE 08/07/98
BY [Signature]
DESCRIPTION
REVISED FOR REVISIONS
VFL 100856
[Signature]
[Signature]



015	FLOOR PLAN	A15
011		
008		
004		



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 1745 PORT CITY, CULVER CITY, CA 90230
 11450 PORT CITY, CULVER CITY, CA 90230
 ENLARGED SITE PLANS AND SITE DETAILS
 A002
 SHEET 02 OF 102

12.D APPENDIX

Pictures





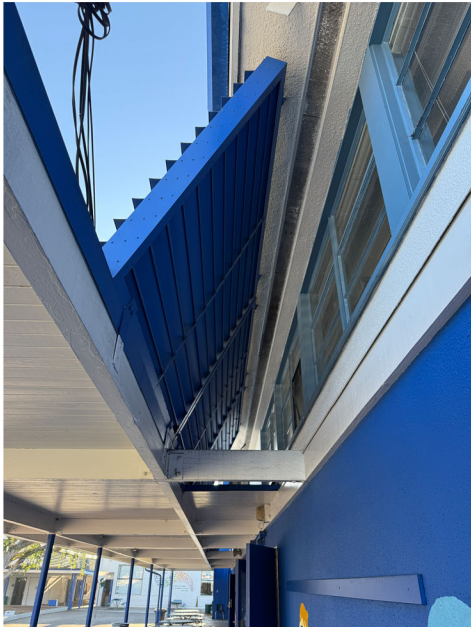


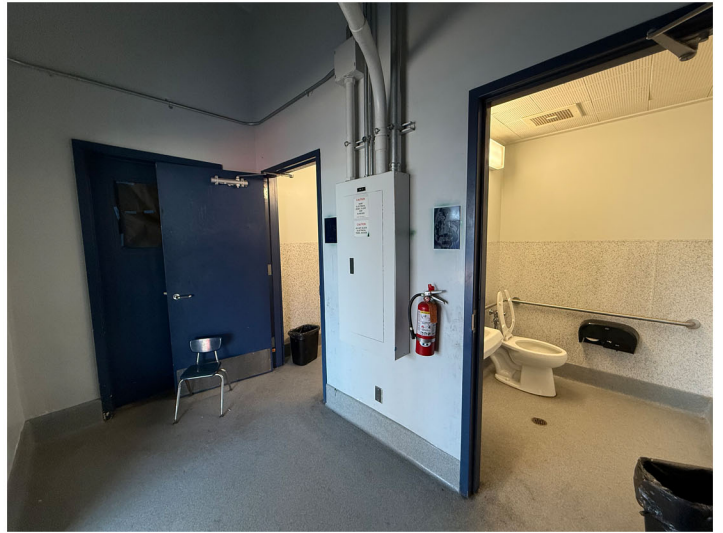
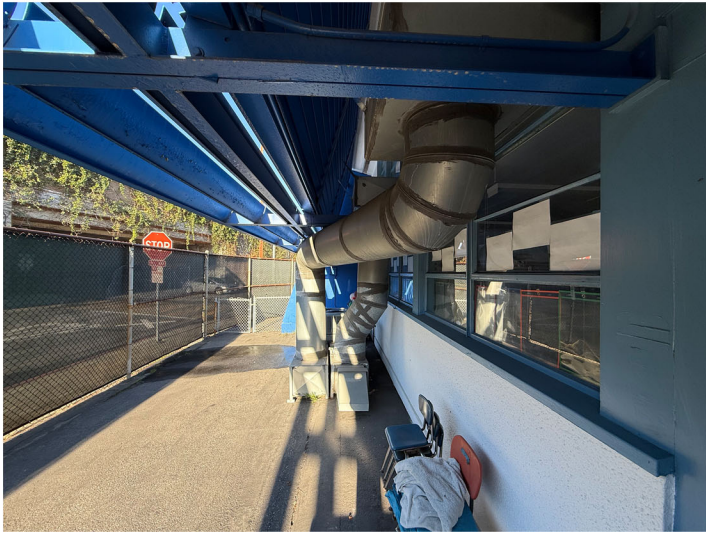








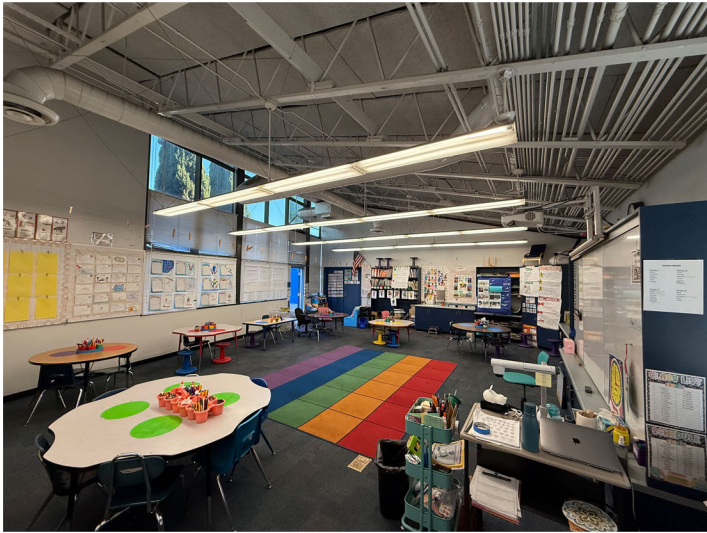




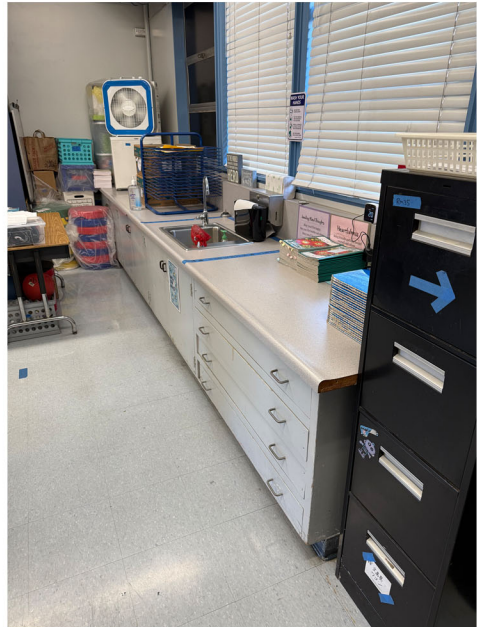






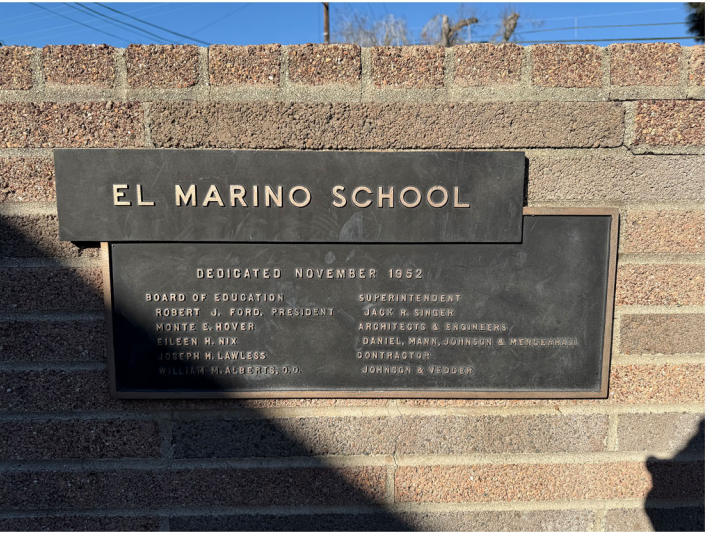






























12.E APPENDIX

Meeting Notes





CULVER CITY
UNIFIED SCHOOL DISTRICT

**CULVER CITY UNIFIED SCHOOL DISTRICT
tBP PROJECT START-UP / KICK-OFF MEETING
10/18/2024**

- I. Introductions and Roles and Responsibilities
- II. Site Assignments
 - a) El Marino Language School
 - b) Linwood Elementary School
- III. Site/Facility Needs
 - a) Review Facility/Community Meeting Notes and Priorities
 - b) Compare with Master Plan
 - c) Reconcile and confirm with Bond Project List
- IV. Scope Development, Clarification and Approval
 - a) Follow-up in depth Site Meetings
 - i) Current Classroom Count
 - ii) Architectural Programming
 - b) Business Services / Facility Committee Approval
- V. Initial Project and Construction Budget Review
 - a) Review TCM Project and Construction Budget (attached)
- VI. Contract Review and Fee Proposal Preparation
 - a) Master Services Agreement issued with RFQ
 - b) Addenda for Specific Projects and Project Scope
- VII. District Deliverables and Documents
 - a) As-Builts
 - b) Utility Survey
 - c) Topographic Survey
 - d) Enrollment History and Updated Enrollment Projections
- VIII. Next Steps / Project Schedule



Meeting Notes

Date: 09/28/2024

Meeting Date: 09/26/2024

Subject: El Marino Language School
Site Facility Meeting

Meeting Location: El Marino Language School

Meeting Time: 3:30 PM

Items

- 1.0 Purpose:
The meeting was held to review the Culver City USD Master plan with the El Marino Staff and Parents and listen to their urgent needs/ repairs.
- 2.0 Faculty could not attend, a follow up Site Facility Meeting with the Architects will be needed.
- 3.0 Fencing Options
 - Ms. Santha Rajiv presented (3) options for fencing. The group preferred a combo of Option 1 and Two. This is possible as a Quick Start project. Architects will present renderings of what it looks like.
- 4.0 Master Plan Discussion
 - How does the Master Plan take into account current and changing enrollment numbers? The Master Plan was based on the enrollment numbers at the time. The Master Plan Architect commented that the enrollment numbers are not changing significantly.
 - The Master Plan can be modified to accommodate more Classrooms.
 - The Site stated they do not need more parking.
 - Save Trees. Need more Shade and Green.
 - Why was the Green Space flipped? You can only build in an open area without building interim housing first. Interim housing is expensive. The recommendation is not to spend money on interim housing which will be demolished in the long run.
 - How many classrooms does the Master Plan show? The team will have to get back to the Site on this question.
 - Two Story Classroom Buildings preferred.
 - Need bathrooms in Classrooms.
 - Campus Security – Needs Improvement.
 - Drop Off Area – Needs Improvement.
 - The Principal stated that the feedback from the Teachers was that the Master Plan showed not enough classroom spaces.
 - Staff Restrooms are bad,

El Marino Measure E Site Facilities Committee
Immediate/Summer Projects & Larger / Measure-E Projects

June 15, 2024

ATTN:

Dr. Brian Lucas, CCUSD Superintendent

CC: El Marino Site Facilities Committee

Summer/Immediate/Sub-\$60k projects

1. Fix leaks in auditorium back room, Kindergarten classrooms, Room 17 and multiple other classrooms;
2. Asphalt in eating area;
3. More coverage in lunch area for shade and rain coverage;
4. Door knob replacement (on classrooms);
5. Ceiling tile replacements (in auditorium and classrooms);
6. Drainage (between room 6 and room 1; "mini river" by room 35; in hallways; "lake" on play area);
7. Fix drinking fountain in patio of room 14;
8. Clean graffiti on walls and handball courts.
9. Pest control (cockroaches were reported the most, but also rats and termites)
10. Plumbing backing up in bathrooms
11. Improving staff bathrooms (new paint, caulking, new mirrors, dispensers, toilet seats, etc.)
12. Repairing window blinds and/or replacing with rolling shades.
13. Repair play structures currently taped-off
14. Replace damaged furniture throughout
(desks/tables/chairs/rugs/carpet

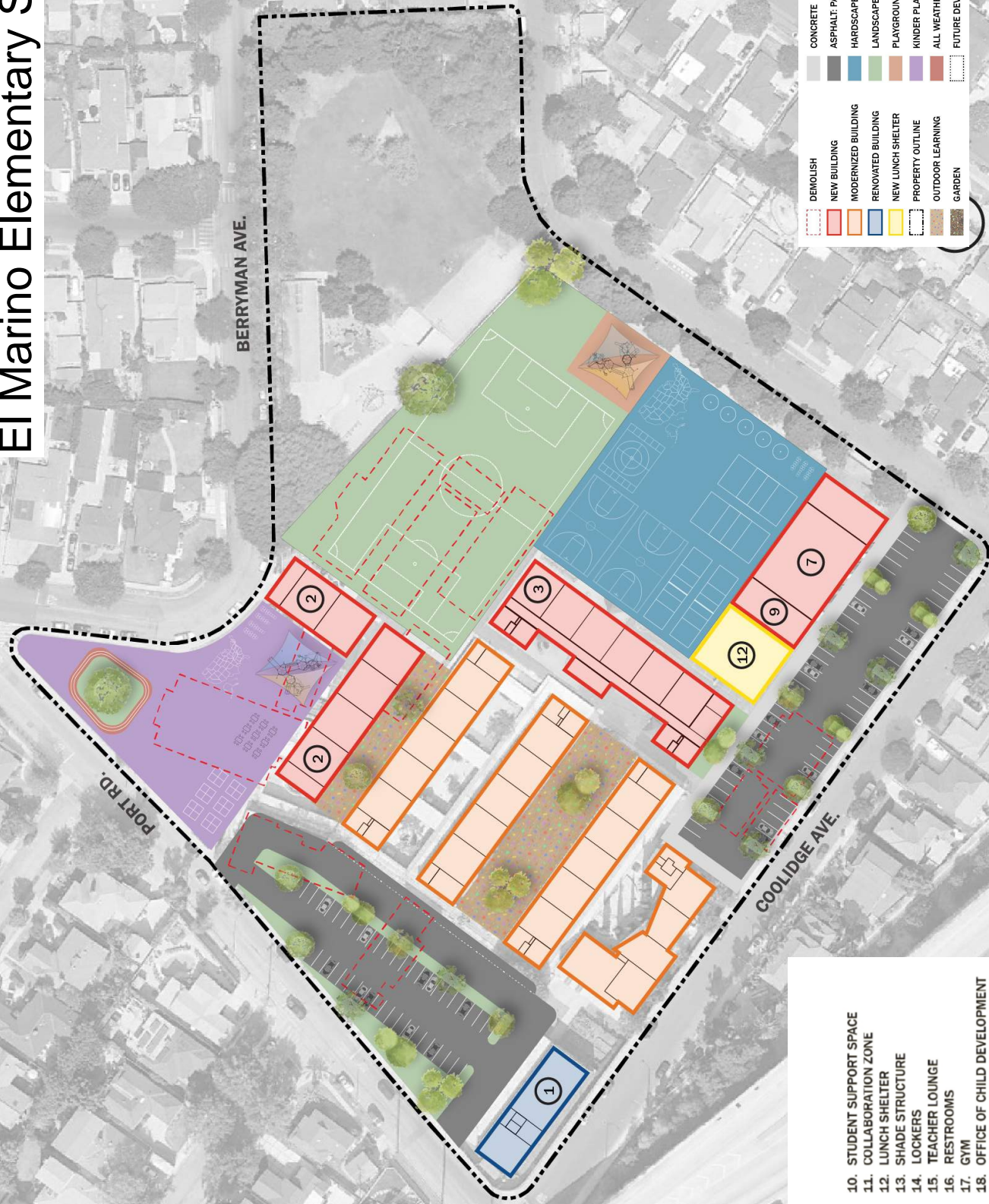
Long Term/Measure-E Funds projects

1. Air Conditioning Units – repair/replacement
2. Perimeter fence replacement ->Non-climbable fence
3. Asphalt repair/replacement
4. Shading for student's eating area

El Marino Elementary School



El Marino Elementary School

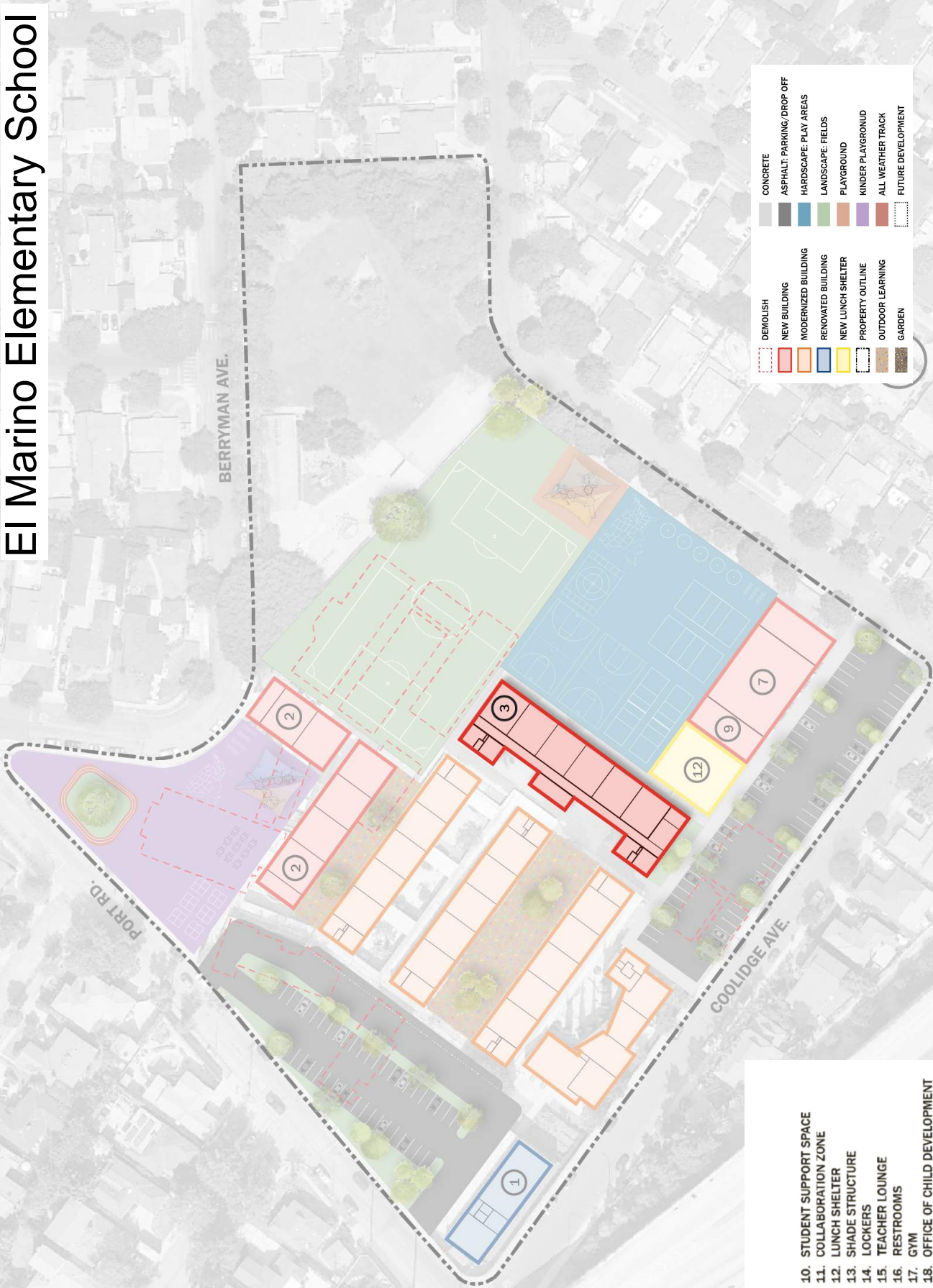


PROGRAM

- | | |
|------------------------|---------------------------------|
| 1. ADMIN | 10. STUDENT SUPPORT SPACE |
| 2. TK, PRE-K & K | 11. COLLABORATION ZONE |
| 3. 1-6TH | 12. LUNCH SHELTER |
| 4. 7-8TH | 13. SHADE STRUCTURE |
| 5. 9-12TH | 14. LOCKERS |
| 6. SPECIALTY CLASSROOM | 15. TEACHER LOUNGE |
| 7. MPR/AUDITORIUM | 16. RESTROOMS |
| 8. LIBRARY | 17. GYM |
| 9. FOOD SERVICE | 18. OFFICE OF CHILD DEVELOPMENT |

- | | |
|---------------------|-----------------------------|
| DEMOLISH | CONCRETE |
| NEW BUILDING | ASPHALT: PARKING / DROP OFF |
| MODERNIZED BUILDING | HARDSCAPE: PLAY AREAS |
| RENOVATED BUILDING | LANDSCAPE: FIELDS |
| NEW LUNCH SHELTER | PLAYGROUND |
| PROPERTY OUTLINE | KINDER PLAYGROUND |
| OUTDOOR LEARNING | ALL WEATHER TRACK |
| GARDEN | FUTURE DEVELOPMENT |

El Marino Elementary School



PROGRAM

1. ADMIN
2. TK, PRE-K & K
3. 1-6TH
4. 7-8TH
5. 9-12TH
6. SPECIALTY CLASSROOM
7. MPR/AUDITORIUM
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15. TEACHER LOUNGE
16. RESTROOMS
17. GYM
18. OFFICE OF CHILD DEVELOPMENT

09/26/2024.

EL MARINO ELEMENTARY SCHOOL
SUB FACILITY MEETING.

NAME	ORGANIZATION
①. PREETI D'SOUZA	TELARU CONSTRUCTION MANAGEMENT
②. Andrew Ulmer	Huckabee Architects
③. KEVIN S. FLEMING	DLR GROUP
④. Paul Karatakoubian	El Marino Principal
⑤. Brad Thompson	El Marino Parent
⑥. LATONYA HORTON	HUCKABEE ARCHITECTS
⑦. JUDY CHENG	SVA ARCHITECTS, INC
	①.

EL MARINO LANGUAGE SCHOOL
09/26/2024.

NAME

ORGANIZATION

8

Hunter Chen

EBP / Multicultural

9

Claudia Fajardo

Parent volunteer

10

Marc Bauer

Parent

11

Brent Kugge

Parent

12

BRIAN LUCAS

CCUSD

13

SANTHA RAJIV

CCUSD.

14

15

2



Meeting Notes

Date: 10/16/2024

Meeting Date: 09/30/2024

Subject: Linwood E. Howe Elementary School
Site Facility Meeting

Meeting Location: Linwood E. Howe Elementary
School

Meeting Time: 2:15 PM

Sign in Sheet: Attached

Items

- 1.0 Purpose:
The meeting was held to review the Culver City USD Master plan with the Linwood E. Howe Staff and Parents and listen to their urgent needs/ repairs.
- 2.0 Faculty could not attend, a follow up Site Facility Meeting with the Architects will be needed.
- 3.0 Master Plan Discussion
 - There are still (2) bathrooms in room 24 and 25 that were not updated.
 - Add non slip threads to stairs and replace railings.
 - New carpeting
 - Maintenance of HVAC
 - Shade structure at Quad and Kinder area.
 - Lack of storage in classrooms
 - Lockable casework
 - One consistent lock for all staff restrooms
 - Leveling of turf in quad
 - Site drainage issues
 - Curb around track, tripping
 - Irrigation systems sticking out
 - Fencing slats removed
 - Stage doors need to be fixed
 - Parking needed
 - Sensory room needed
 - New garden space
 - Where is OCD going? Is it staying at Linwood Howe.
 - OCD bungalows are getting demolished to get parking
 - Goal is to have (4) TK and (4) Kinder
 - Nice to have science lab
 - Space for pull out groups
 - Not much need for outdoor learning space
 - Need for indoor learning space
 - Campus security/access
 - Seismic upgrading.
 - 2nd floor buildings to connect.

Linwood E. Howe Elementary School

Site Facility Meeting

Monday, September 30, 2024

#	Name	Company/ Entity
1	PREETI DSOUZA	TELACU CONSTRUCTION MANAGEMENT
2	Ian McCullen	Assistant Principal
3	Casey Chabola	Principal
4	Jen Chyi	Parent
5	Stam Acort	Technology Technician
6	Lacey Banis	Parent
7	Brian Lucas	DO
8	Danella Liber	Lin Howe teacher
9	JUDY CHENG	SVA ARCHITECTS, INC.
10	MEL TAN	SVA ARCHITECTS
11	CAROLYN LOUGHREY	TBP/ARCHITECTURE
12	LATONYA HORN	HUCKABEE ARCHITECTS
13	Andrew Ulmer	Huckabee
14	Alicia McCullough	Parent

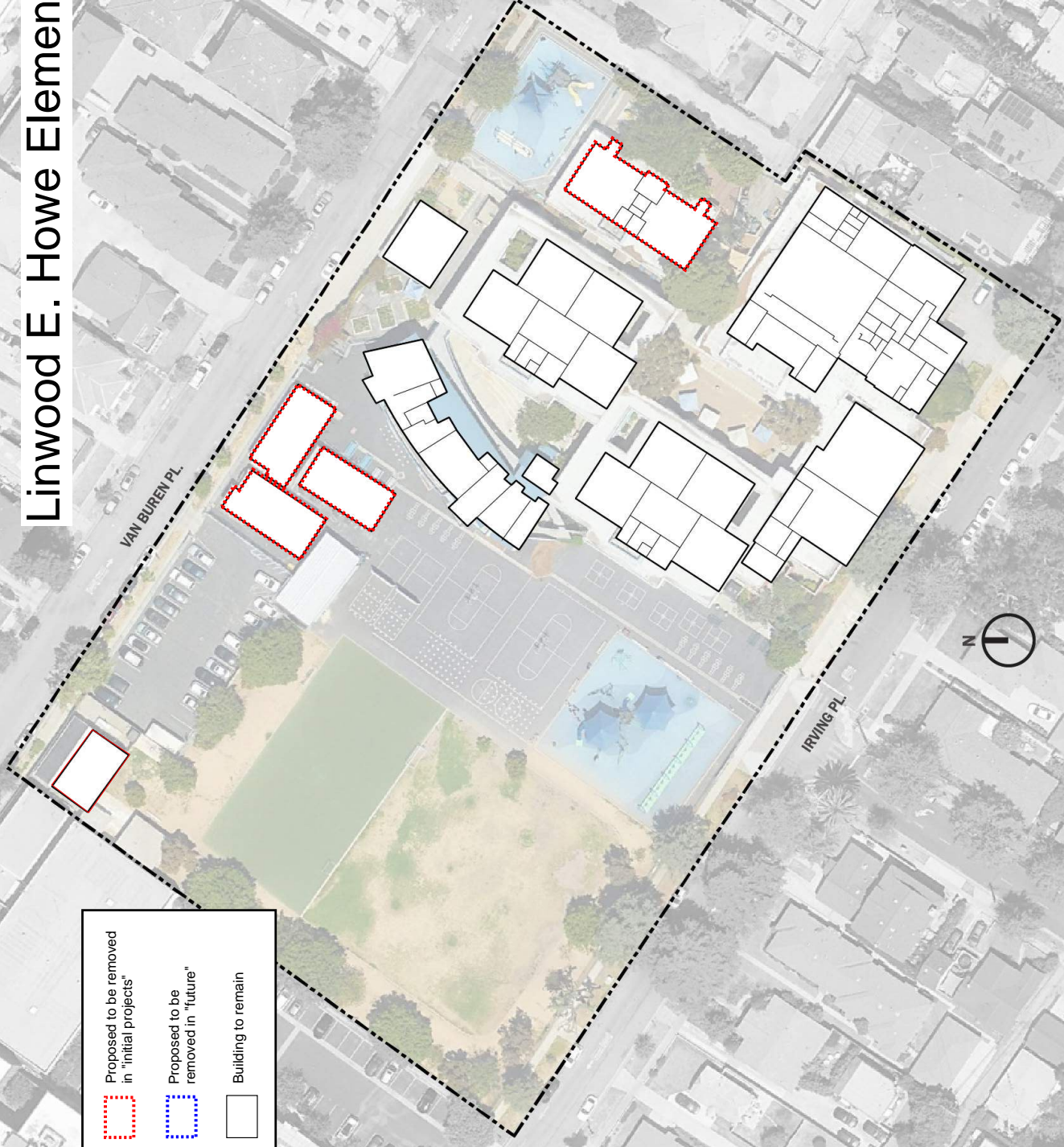
Linwood E. Howe Elementary School

Site Facility Meeting

Monday , September 30, 2024

#	Name	Company/ Entity
15	NATI SOFFER	Parent
16	SANTHA RAJIV	DISTRICT OFFICE
17	KEVIN FLEMING	DLR
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		

Linwood E. Howe Elementary School



Linwood E. Howe Elementary School



Linwood E. Howe Elementary School



INCLUDE A SENSORY ROOM
AT GROUND LEVEL AT SOME
PLACE ON CAMPUS ALONG
WITH THE OTC.

LOOK INTO INCLUDING BREAK
OUT SPACES

NEED A SCIENCE CLASSROOM

VAN BUREN PL.

IRVING PL.

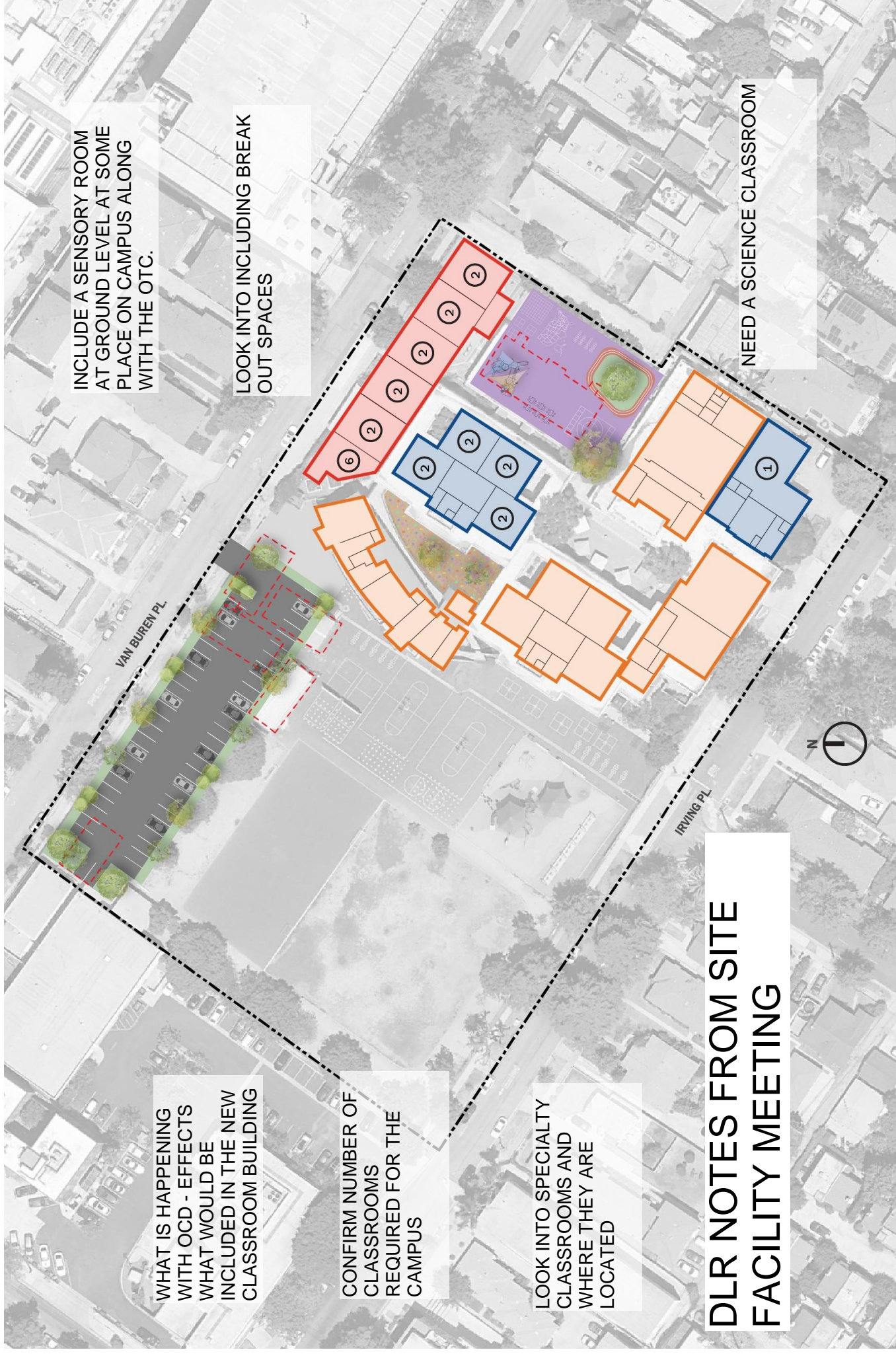


WHAT IS HAPPENING
WITH OCD - EFFECTS
WHAT WOULD BE
INCLUDED IN THE NEW
CLASSROOM BUILDING

CONFIRM NUMBER OF
CLASSROOMS
REQUIRED FOR THE
CAMPUS

LOOK INTO SPECIALTY
CLASSROOMS AND
WHERE THEY ARE
LOCATED

DLR NOTES FROM SITE FACILITY MEETING



CULVER CITY UNIFIED SCHOOL DISTRICT
MEASURE E - INTIAL A&E CONSTRUCTION VALUE FOR FEE CALCULATION

CAMPUS	CONTINGENCY (APPLIED LATER)				TOTAL	
	HARD COSTS	ESCALATION			CONSTRUCTION	SOFT COSTS
Culver City MS & HS	\$ 84,572,723	\$ 13,902,077	\$ 9,847,480	\$	98,474,800	\$ 36,418,252
Culver Park HS	\$ 10,150,000	\$ 2,187,388	\$ 1,579,186	\$	12,337,388	\$ 3,454,469
El Rincon	\$ 32,645,528	\$ 7,035,315	\$ 5,079,148	\$	39,680,843	\$ 11,110,636
El Marino ES	\$ 25,662,504	\$ 5,530,430	\$ 3,992,696	\$	31,192,934	\$ 8,734,022
Linwood E. Howe ES	\$ 24,267,681	\$ 3,494,124	\$ 2,776,181	\$	27,761,805	\$ 10,994,520
Farragut ES/OCD	\$ 27,342,849	\$ 5,892,555	\$ 4,254,132	\$	33,235,404	\$ 9,305,913
La Ballona ES	\$ 24,094,492	\$ 5,192,514	\$ 3,748,737	\$	29,287,006	\$ 8,200,362
TOTALS	\$ 228,735,777	\$ 43,234,403	\$ 31,277,560	\$	271,970,180	\$ 88,218,174
					\$	391,465,913

CULVER CITY UNIFIED SCHOOL DISTRICT
MEASURE E - INTIAL A&E CONSTRUCTION VALUE FOR FEE CALCULATION
EL MARINO

PROJECT	HARD COSTS	ESCALATION	CONTINGENCY (APPLIED LATER)		TOTAL CONSTRUCTION		SOFT COSTS	TOTAL PROJECT	S/H RATIO
New 2-Story Classroom Bldg.	\$ 13,950,000	\$ 3,006,312	\$	2,170,408	\$	16,956,312	\$ 4,747,767	\$ 23,874,487	20%
Modernization	\$ 10,622,625	\$ 2,289,242	\$	1,652,719	\$	12,911,867	\$ 3,615,323	\$ 18,179,909	20%
Site Utilities	\$ 1,089,879	\$ 234,876	\$	169,569	\$	1,324,755	\$ 370,931	\$ 1,865,255	20%
TOTALS	\$ 25,662,504	\$ 5,530,430	\$	3,992,696	\$	31,192,934	\$ 8,734,021	\$ 43,919,651	

CULVER CITY UNIFIED SCHOOL DISTRICT
MEASURE E - INTIAL A&E CONSTRUCTION VALUE FOR FEE CALCULATION
LINWOOD HOWE

PROJECT	CONTINGENCY (APPLIED LATER)			TOTAL		
	HARD COSTS	ESCALATION	CONSTRUCTION	SOFT COSTS	TOTAL PROJECT	
New 2-Story Classroom Bldg.	\$ 12,555,000	\$ 2,705,681	\$ 1,953,367	\$ 15,260,681	\$ 4,272,991	\$ 21,487,039
Site Utilities	\$ 608,251	\$ 131,082	\$ 94,635	\$ 739,333	\$ 207,013	\$ 1,040,981
Site Work	\$ 254,780	\$ 54,907	\$ 39,640	\$ 309,687	\$ 86,712	\$ 436,039
Demo	\$ 142,550	\$ 30,720	\$ 22,179	\$ 173,270	\$ 48,516	\$ 243,965
Modernization	\$ 7,293,000	\$ 1,571,687	\$ 1,134,680	\$ 8,864,687	\$ 2,482,112	\$ 12,481,479
Renovation	\$ 1,655,400	\$ 356,749	\$ 257,555	\$ 2,012,149	\$ 563,402	\$ 2,833,106
Site Work	\$ 1,751,000	\$ 377,351	\$ 272,429	\$ 2,128,351	\$ 595,938	\$ 2,996,718
TOTALS	\$ 24,259,981	\$ 5,228,177	\$ 3,774,485	\$ 29,488,158	\$ 8,256,684	\$ 41,519,327

Preeti D'Souza

From: Rajiv, Santha <santharajiv@ccusd.org>
Sent: Wednesday, October 16, 2024 11:51 AM
To: Preeti D'Souza
Subject: Requested docs
Attachments: Architect assignment.pdf

24-25 enrollment

Academic Year:	2024-2025
View:	SNAPSHOT
Revision ID:	6528140

School Code	School Name	Total Enrollment
1932201	Culver City High	2010
6057608	Culver City Middle	1524
0128322	Culver City Unified School District iAcademy	0
1932656	Culver Park High	40
6012678	El Marino Elementary	794
6012686	El Rincon Elementary	561
6012694	Farragut Elementary	548
6012702	La Ballona Elementary	529
6012660	Linwood E. Howe Elementary	568
0000001	NPS School Group for Culver City Unified	7
TOTAL - Selected Schools		6581



Santha Rajiv CPA

Assistant Superintendent of Business Services
4034 Irving Place
Culver City, CA 90232-2848
(310) 842-4220, Ext 4226.

CULVER CITY UNIFIED SCHOOL DISTRICT E-MAIL DISCLAIMER. *This communication and any documents, files, or previous e-mail messages attached to it constitute an electronic communication within the scope of the Electronic Communication Privacy Act, 18 USCA 2510. This communication may contain non-public, confidential, or legally privileged information intended for the sole use of the designated recipient(s). The unlawful interception, use or disclosure of such information is strictly prohibited under 18 USCA 2511 and any applicable laws.*

Project Meeting Report



tBP/Architecture
4611 Teller Avenue
Newport Beach, CA 92660

Meeting Date: 10/30/2024

Project: El Marino Language School
Culver City Unified School District

Present: Santha Rajiv	-	CCUSD
Ilona Gergi	-	CCUSD
Preeti Dsouza	-	Telacu
Blaine Yoder	-	Telacu
Monica Bell	-	El Marino Teacher
Myrna Martinez	-	El Marino Teacher
Tomoko Miyawaki	-	El Marino Teacher
Alice Horiba	-	El Marino Teacher
Lisa Collins	-	Parent (on committee)
Brent Knapp	-	Parent (on committee)
Greg Maron	-	Parent (on committee)
Citlall Castillo	-	Parent (on committee)
Marc Bauer	-	Parent
Gary Moon	-	tBP/Architecture
Hung Cheng	-	tBP/Architecture
Carolyn Loughrey	-	tBP/Architecture
Bob Demmond	-	tBP/Architecture

PURPOSE OF THE MEETING

To kick off the project's programming phase.

DISCUSSION

1. Team Introductions and Communication Protocol:
 - a. Attending District staff and design team members were introduced.
 - b. Meeting minutes and presentation documents to be distributed via Google Docs for input.
2. Site Needs:
 - a. School population (790) needs to be maintained—not increased. School population largest in District.
 - b. Master plan to accommodate inclusion of TK population and flexibility with respect to student population fluctuations.
 - c. Parking: Study increase to 50 stalls on site (along Coolidge).
 - d. Adult restrooms: Study placement of new gender-neutral restrooms within campus.
 - e. Drop-off: Consider drop-off along Coolidge.
 - f. Perimeter Fencing: Study fencing upgrades along Port Road at MPR.

3. Quick-Start Projects:
 - a. Lunch Shelter
 - b. Outdoor Learning Education (OLE) spaces—focus on spaces between classroom buildings.
4. Design Team Tasks:
 - a. Confirm classroom allocations based on teacher-to-student ratio based on grade level.
 1. Grade TK: 1:20
 2. Grade K: 1:24
 3. Grades 1-3: 1:24
 4. Grades 4-5: 1:28
 - b. Confirm number of classrooms per grade based on faculty input and Master Plan projections. Total core classrooms: 29.
5. Schedule:
 - a. Programming: 10/30/24–12/20/24
 - b. Schematic Design: 12/23/24–02/17/25
 - c. Design Development: 02/18/25–04/15/25
 - d. Construction Documents: 04/16/25–08/29/25
 - e. DSA Review/Approval: 09/01/25–04/10/26
 - f. Bidding: 04/13/26–06/29/26
 - g. Construction: 07/13/26–10/15/27
6. Meetings:
 - a. Bi-weekly faculty/parent meetings – next meeting 11/13/24 @ 1:45pm.
 1. tBP to present options for new classroom building(s).
 - L-shaped building option adjacent to parking lot.
 - Building option to replace existing buildings adjacent to park.
7. Budget (Hard Costs):
 - a. The budget for the project is \$31.2 million.
 1. New Construction: \$17 million
 2. Modernization: \$12.9 million
 3. Site Utilities: \$1.3 million
8. Project Considerations:
 - a. Two-story building location: Consider locating within footprint of buildings located adjacent to El Marino Park and turf play field.
 - b. Utilizing green space associated with El Marino Park?
 - c. Utilizing El Marino Park in its entirety for campus expansion?
 - d. Utilizing green space at Port & Hayter for drop-off?
 - e. Evaluate school perimeter fencing at existing MPR. MPR exits open out into public way.
 - f. Evaluate drainage at fields—flooding concerns.
 - g. Reduce AC (asphalt) paving.

The above notes document our understanding of items discussed in the above referenced meeting. Unless written notice to the contrary is received within 7 days, the notations will be considered correct and acceptable.

Prepared by: Bob Demmond, tBP/Architecture

DISTRIBUTION

District for distribution, Design Team, File

ATTACHMENTS

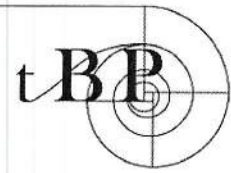
tBP's Agenda

District's Agenda

Project Schedule

■ Project Meeting Attendance

tBP/Architecture
4611 Teller Avenue
Newport Beach, CA 92660



Architecture
Planning
Interiors
Management

Date: 10/30/2024

Project: El Marino Elementary School

Meeting:

Attendees:

Name

Organization/ Title/ Department

PARENT

P

Lisa Collins parent on Committee

Blaine Yoder TELACO Const. Management

PREETI DESOUZA TELACO CONST. MANAGEMENT

P

Brent Knapp Parent on Committee

P

Brad Thompson Parent

P

Greg MARON Parent / Member of CCUSD ESC committee.

Ilona Gergi Ilonagergi@ccusd.org

Monica Bell El Marino teacher

Myrna Martinez El Marino teacher

Santha Rajiv CCUSD

Tomoko Miyawaki El Marino teacher

Alice Horiba El Marino teacher

P

Marc Bauer Parent

Citlali Castillo Parent on Committee

CAPOUNT





**Architectural Services for
Measure E Projects
El Marino Elementary School
Programming Meeting**
October 30, 2024

“Success for All... Takes us All!”



Agenda

Introductions

Review Phase I projects (FMP)

Review September Meeting Notes

Enrollment Trends

Define Site Needs/ Priorities

- What is New Construction Vs. Modernization
- Quick Start projects 2024-2025

Discuss Design Timeline

Feedback from Site Needs Facility Committee

Introductions

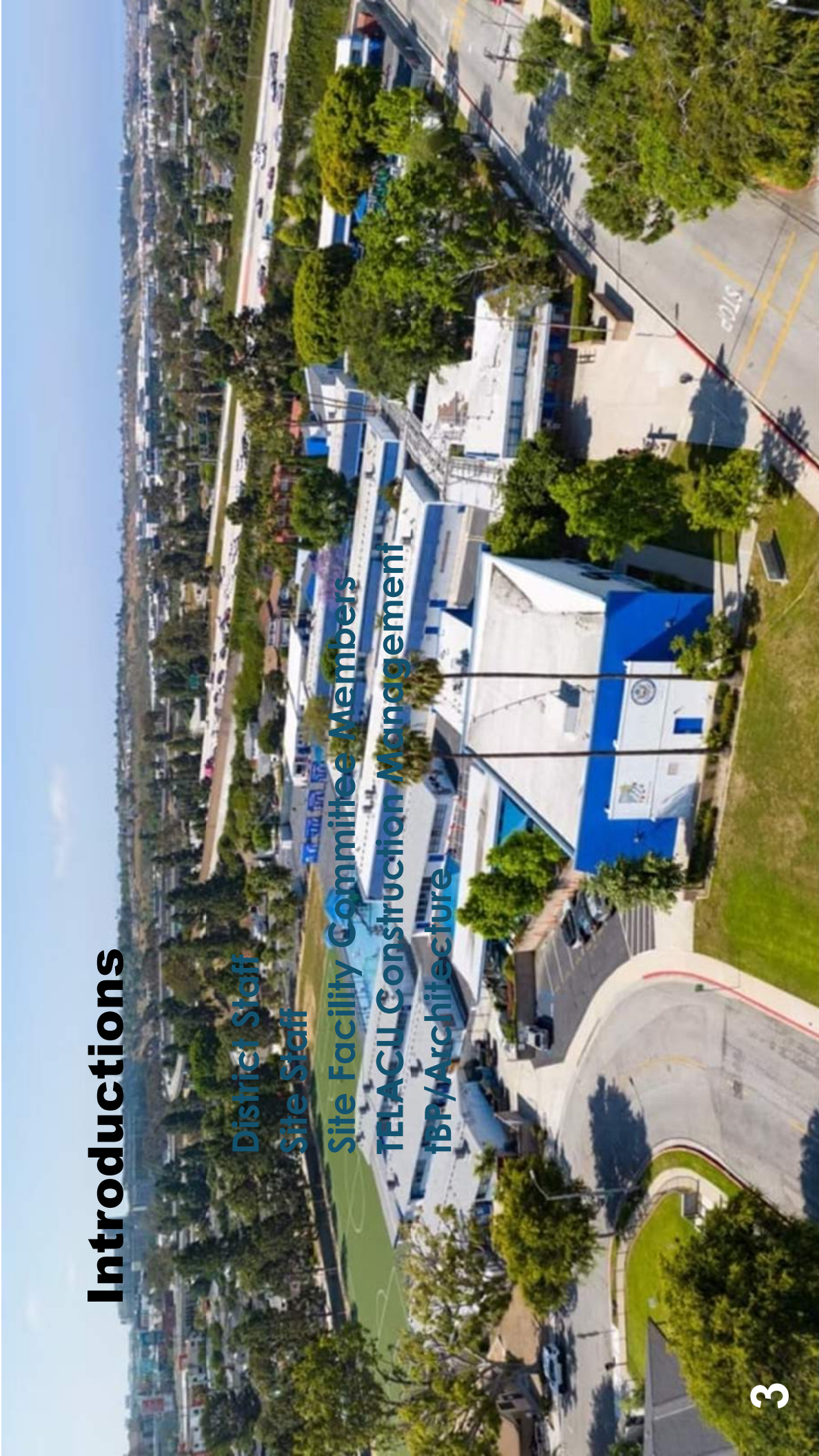
District Staff

Site Staff

Site Facility Committee Members

TELACU Construction Management

IBP/Architecture



Phase 1 Scope

1. Construct a new two-story building with twelve classrooms. Include small support spaces for pull-out programs. Include restrooms, storage, mechanical, custodial, elevator, and stairs.
2. Keep existing relocatable classrooms in place to use as swing space for classroom modernizations.
3. Modernize existing classrooms.

El Marino Elementary School

Notes from the previous meeting (24/09/26)

1.0 Purpose:

The meeting was held to review the Culer City USD Master plan with the El Marino Staff and Parents and listen to their urgent needs/repairs.

2.0 Faculty could not attend, a follow up Site Facility Meeting with the Architects will be needed.

3.0 Fencing Options

- Ms. Santha Rajiv presented (3) options for fencing. The group preferred a combo of Option 1 and Two. This is possible as a Quick Start project. Architects will present renderings of what it looks like.

4.0 Master Plan Discussion

- How does the Master Plan take into account current and changing enrollment numbers? The Master Plan was based on the enrollment numbers at the time. The Master Plan Architect commented that the enrollment numbers are not changing significantly.
- The Master Plan can be modified to accommodate more Classrooms.
- The Site stated they do not need more parking.
- Save Trees. Need more Shade and Green.
- Why was the Green Space flipped? You can only build in an open area without building interim housing first. Interim housing is expensive. The recommendation is not to spend money on interim housing which will be demolished in the long run.
- How many classrooms does the Master Plan show? The team will have to get back to the Site on this question.
- Two Story Classroom Buildings preferred.
- Need bathrooms in Classrooms.
- Campus Security – Needs Improvement.
- Drop Off Area – Needs Improvement.
- The Principal stated that the feedback from the Teachers was that the Master Plan showed not enough classroom spaces.
- Staff Restrooms are bad.

El Marino Elementary School

Notes from the previous meeting (24/09/26)

Summer/Immediate/Sub-\$60k projects

1. Fix leaks in auditorium back room. Kindergarten classrooms. Room 17 and multiple other classrooms;
2. Asphalt in eating area;
3. More coverage in lunch area for shade and rain coverage;
4. Door knob replacement (on classrooms);
5. Ceiling tile replacements (in auditorium and classrooms);
6. Drainage (between room 6 and room 1; "mini river" by room 35; in hallways; "lake" on play area);
7. Fix drinking fountain in patio of room 14;
8. Clean graffiti on walls and handball courts.
9. Pest control (cockroaches were reported the most, but also rats and termites)
10. Plumbing backing up in bathrooms
11. Improving staff bathrooms (new paint, caulking, new mirrors, dispensers, toilet seats, etc.)
12. Repairing window blinds and/or replacing with rolling shades.
13. Repair play structures currently taped-off
14. Replace damaged furniture throughout (desks/tables/chairs/rugs/carpet)

Long Term/Measure-E Funds projects

1. Air Conditioning Units - repair/replacement
2. Perimeter fence replacement -> Non-climbable fence
3. Asphalt repair/replacement
4. Shading for student's eating area

El Marino Elementary School

Measure E – Initial A&E Construction Value for Fee Calculation

CULVER CITY UNIFIED SCHOOL DISTRICT
MEASURE E - INITIAL A&E CONSTRUCTION VALUE FOR FEE CALCULATION
EL MARINO

PROJECT	HARD COSTS	ESCALATION	CONTINGENCY (APPLIED LATER)	TOTAL		TOTAL PROJECT	S/H RATIO
				CONSTRUCTION	SOFT COSTS		
New 2-Story Classroom Bldg.	\$ 13,950,000	\$ 3,006,312	\$ 2,170,408	\$ 16,956,312	\$ 4,747,767	\$ 23,874,487	20%
Modernization	\$ 10,622,625	\$ 2,289,242	\$ 1,652,719	\$ 12,911,867	\$ 3,615,323	\$ 18,179,909	20%
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TOTALS	\$ 25,662,504	\$ 5,530,430	\$ 3,992,696	\$ 31,192,934	\$ 8,734,021	\$ 43,919,651	

El Marino Elementary School

Enrollment numbers

24-25 enrollment

Academic Year: 2024-2025		
View: SNAPSHOT		
Revision ID: 6528140		
School Code	School Name	Total Enrollment
1932201	Culver City High	2010
6057608	Culver City Middle	1524
0128322	Culver City Unified School District Academy	0
1932656	Culver Park High	17
6012678	El Marino Elementary	794
6012686	El Rincon Elementary	564
6012694	Farragut Elementary	548
6012702	La Ballona Elementary	529
6012660	Linwood E. Howe Elementary	568
0000001	NPS School Group for Culver City Unified	7
TOTAL - Selected Schools		6581



Enrollment Multi-Year Summary by Grade

El Marino Elementary Report (19-64444-6012678)

+ Report Description

+ Report Options and Filters

Academic Year	Total	TK	Grade K	Grade 1	Grade 2	Grade 3	Grade 4	Grade 5	Grade 6	Grade 7	Grade 8	Ungr Elem	Grade 9	Grade 10	Grade 11	Grade 12	Ungr Sec
2023-24	786	20	133	133	136	122	118	124	0	0	0	0	0	0	0	0	0
2022-23	779	0	153	135	123	120	130	118	0	0	0	0	0	0	0	0	0
2021-22	795	0	152	129	128	136	121	129	0	0	0	0	0	0	0	0	0
2020-21	839	0	159	140	139	135	136	130	0	0	0	0	0	0	0	0	0
2019-20	842	0	161	141	137	137	134	132	0	0	0	0	0	0	0	0	0
2018-19	842	0	163	138	139	137	135	130	0	0	0	0	0	0	0	0	0
2017-18	842	0	161	138	138	137	135	133	0	0	0	0	0	0	0	0	0



El Marino Elementary School

Enrollment numbers and Classrooms

Grade	2023-24 Enrollment	number of students per classroom	Number of Classrooms required per Enrollment	Number of Classrooms in the existing campus	Location in the existing campus	Number of Classrooms in master plan	Location in master plan
Grade TK	20	1:20	1	1	ex. Bldg #6	6	new K bldg complex
Grade K	133	1:24	6	1	ex. Bldg #6		
Total of TK, K	153		7	2		6	
Grade 1	133	1:28	5	6	ex. Bldg #3	6	ex. Bldg #3
Grade 2	136	1:28	5	6	ex. Bldg #4	6	ex. Bldg #4
Grade 3	122	1:28	5	6	ex. Bldg #5	6	ex. Bldg #5
Grade 4	118	1:28	5	5	ex. Bldg #12	5	ex. Bldg #12
Grade 5	124	1:28	5			12	New CR bldg
Total of Grade 1-6	633		25	23		35	
After school care				1 ex. Relo 1 1 ex. Relo 2 1 ex. Relo 3 1 ex. Relo 4			
Daycare				3 ex. Bldg #7			
unknown				3 ex. Bldg #9 4 ex. Bldg #10			
Total	786						



CULVER CITY
UNIFIED SCHOOL DISTRICT



El Marino Elementary School

Enrollment numbers and Classrooms

Grade	2023-24 Enrollment	number of students per classroom	Number of Classrooms required per Enrollment	Number of Classrooms in the existing campus	Location in the existing campus	Number of Classrooms in master plan	Location in master plan
Grade TK	20	1:20	1	1	ex. Bldg #6	6	new K bldg complex
Grade K	133	1:24	6	1	ex. Bldg #6		
Total of TK, K	153		7	2		6	
Grade 1	133	1:28	5	6	ex. Bldg #3	6	ex. Bldg #3
Grade 2	136	1:28	5	6	ex. Bldg #4	6	ex. Bldg #4
Grade 3	122	1:28	5	6	ex. Bldg #5	6	ex. Bldg #5
Grade 4	118	1:28	5	5	ex. Bldg #12	5	ex. Bldg #12
Grade 5	124	1:28	5	5		12	New CR bldg
Total of Grade 1-6	633		25	23		35	
After school care				1	ex. Relo 1		
				1	ex. Relo 2		
				1	ex. Relo 3		
				1	ex. Relo 4		
Daycare				3	ex. Bldg #7		
unknown				3	ex. Bldg #9		
				4	ex. Bldg #10		
Total	786						

El Marino Elementary School

Enrollment numbers and Classrooms

Grade	2023-24 Enrollment	number of students per classroom	Number of Classrooms required per Enrollment	Number of Classrooms in the existing campus	Location in the existing campus	Number of Classrooms in master plan	Location in master plan
Grade TK	20	1:20	1	1	ex. Bldg #6	6	new K bldg complex
Grade K	133	1:24	6	1	ex. Bldg #6		
Total of TK, K	153		7	2		6	
Grade 1	133	1:28	5	6	ex. Bldg #3	6	ex. Bldg #3
Grade 2	136	1:28	5	6	ex. Bldg #4	6	ex. Bldg #4
Grade 3	122	1:28	5	6	ex. Bldg #5	6	ex. Bldg #5
Grade 4	118	1:28	5	5	ex. Bldg #12	5	ex. Bldg #12
Grade 5	124	1:28	5			12	New CR bldg
Total of Grade 1-6	633		25	23		35	
After school care				1	ex. Relo 1		
				1	ex. Relo 2		
				1	ex. Relo 3		
				1	ex. Relo 4		
Daycare				3	ex. Bldg #7		
unknown				3	ex. Bldg #9		
				4	ex. Bldg #10		
Total	786						

El Marino Elementary School

Enrollment numbers and Classrooms

Grade	2023-24 Enrollment	number of students per classroom	Number of Classrooms required per Enrollment	Number of Classrooms in the existing campus	Location in the existing campus	Number of Classrooms in master plan	Location in master plan
Grade TK	20	1:20	1	1	ex. Bldg #6	6	new K bldg complex
Grade K	133	1:24	6	1	ex. Bldg #6		
Total of TK, K	153		7	2		6	
Grade 1	133	1:28	5	6	ex. Bldg #3	6	ex. Bldg #3
Grade 2	136	1:28	5	6	ex. Bldg #4	6	ex. Bldg #4
Grade 3	122	1:28	5	6	ex. Bldg #5	6	ex. Bldg #5
Grade 4	118	1:28	5	5	ex. Bldg #12	5	ex. Bldg #12
Grade 5	124	1:28	5			12	New CR bldg
Total of Grade 1-6	633		25	23		35	
After school care				1 ex. Relo 1			
				1 ex. Relo 2			
				1 ex. Relo 3			
				1 ex. Relo 4			
Daycare				3 ex. Bldg #7			
unknown				3 ex. Bldg #9			
				4 ex. Bldg #10			
Total	786						

El Marino Elementary School

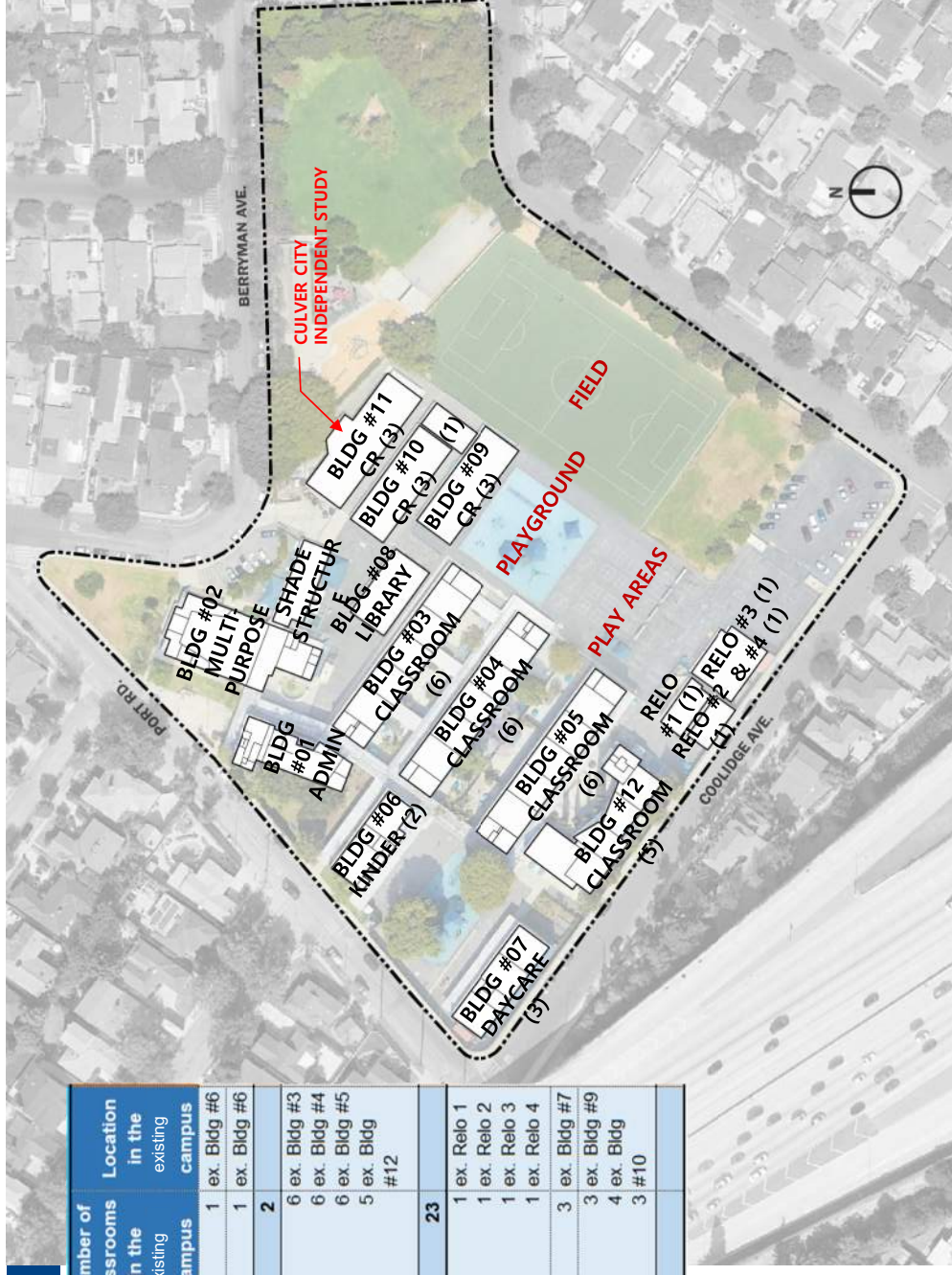
Teaching spaces



El Marino Elementary School

CAMPUS PLAN - EXISTING

Grade	2023-24 Enrollment	number of students per classroom	Number of Classrooms required per Enrollment	Number of Classrooms in the existing campus	Location in the existing campus
Grade TK	20	1:20	1	1	ex. Bldg #6
Grade K	133	1:24	6	1	ex. Bldg #6
Total of TK, K	153		7	2	
Grade 1	133	1:28	5	6	ex. Bldg #3
Grade 2	136	1:28	5	6	ex. Bldg #4
Grade 3	122	1:28	5	6	ex. Bldg #5
Grade 4	118	1:28	5	5	ex. Bldg #12
Grade 5	124	1:28	5		
Total of Grade 1-6	633		25	23	
After school care				1	ex. Relo 1
				1	ex. Relo 2
				1	ex. Relo 3
				1	ex. Relo 4
Daycare unknown				3	ex. Bldg #7
				3	ex. Bldg #9
				4	ex. Bldg #10
Total	786				



El Marino Elementary School

CAMPUS PLAN/ NEW – 1st Floor Plan

Grade	2023-24 Enrollment	number of students per classroom	Number of Classrooms required per Enrollment	Number of Classroom s in master plan	Location in master plan
Grade TK	20	1:20	1	1	new K bldg complex
Grade K	133	1:24	6	6	
Total of TK, K	153		7	6	
Grade 1	133	1:28	5	6 ex. Bldg #3	
Grade 2	136	1:28	5	6 ex. Bldg #4	
Grade 3	122	1:28	5	6 ex. Bldg #5	
Grade 4	118	1:28	5	5 ex. Bldg #12	
Grade 5	124	1:28	5	12 New CR bldg	
Total of Grade 1-6	633		25	35	
Total	786				

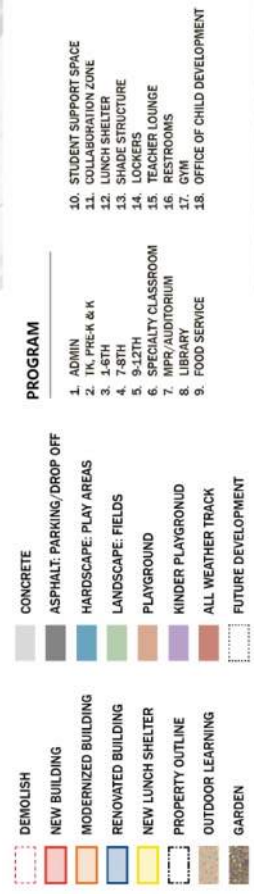


PROGRAM	CONCRETE	ASPHALT: PARKING/DROP OFF	DENOLISH
1. ADMIN	HARDSCAPE: PLAY AREAS	NEW BUILDING	
2. 1K, PRE-K & K	LANDSCAPE: FIELDS	MODERNIZED BUILDING	
3. 1-6TH	PLAYGROUND	RENOVATED BUILDING	
4. 7-8TH	KINDER PLAYGROUND	NEW LUNCH SHELTER	
5. 9-12TH	ALL WEATHER TRACK	PROPERTY OUTLINE	
6. SPECIALTY CLASSROOM	FUTURE DEVELOPMENT	OUTDOOR LEARNING	
7. MPR/AUDITORIUM		GARDEN	
8. LIBRARY			
9. FOOD SERVICE			
10. STUDENT SUPPORT SPACE			
11. COLLABORATION ZONE			
12. LUNCH SHELTER			
13. SHADE STRUCTURE			
14. LOCKERS			
15. TEACHER LOUNGE			
16. RESTROOMS			
17. GYM			
18. OFFICE OF CHILD DEVELOPMENT			

El Marino Elementary School

CAMPUS PLAN/ NEW – 2nd Floor Plan

Grade	2023-24 Enrollment	number of students per classroom	Number of Classrooms required per Enrollment	Number of Classroom s in master plan	Location in master plan
Grade TK	20	1:20	1	1	6 new K bldg complex
Grade K	133	1:24	6	6	
Total of TK, K	153		7	6	
Grade 1	133	1:28	5	6 ex. Bldg #3	
Grade 2	136	1:28	5	6 ex. Bldg #4	
Grade 3	122	1:28	5	6 ex. Bldg #5	
Grade 4	118	1:28	5	5 ex. Bldg #12	
Grade 5	124	1:28	5	12 New CR bldg	
Total of Grade 1-6	633		25	35	
Total	786				



El Marino Elementary School SITE PLAN - BUILDABLE AREA



El Marino Elementary School

EXISTING CAMPUS AND MASTER PLAN



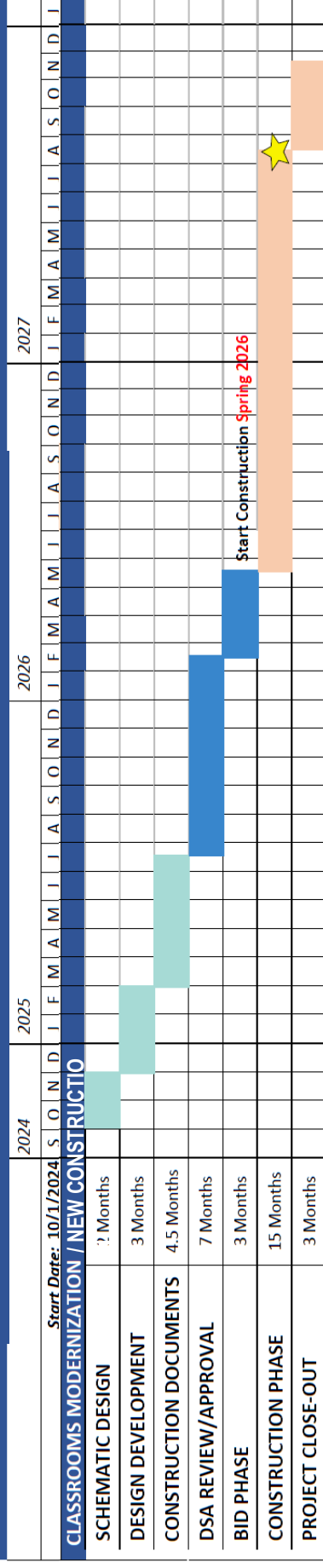
- 1-6 CLASSROOMS
- KINDER
- MULTI-PURPOSE
- LUNCH SHELTER
- ADMIN
- LIBRARY
- DAYCARE
- AFTER SCHOOL
- UNKNOWN CR



El Marino Elementary School

PROJECT SCHEDULE

Culver City USD | EL MARINO LANGUAGE SCHOOL 2-STORY CLASSROOM BUILDING



Quickstarts

Asphalt and paving

Shade Structure

Drinking Fountains

Painting

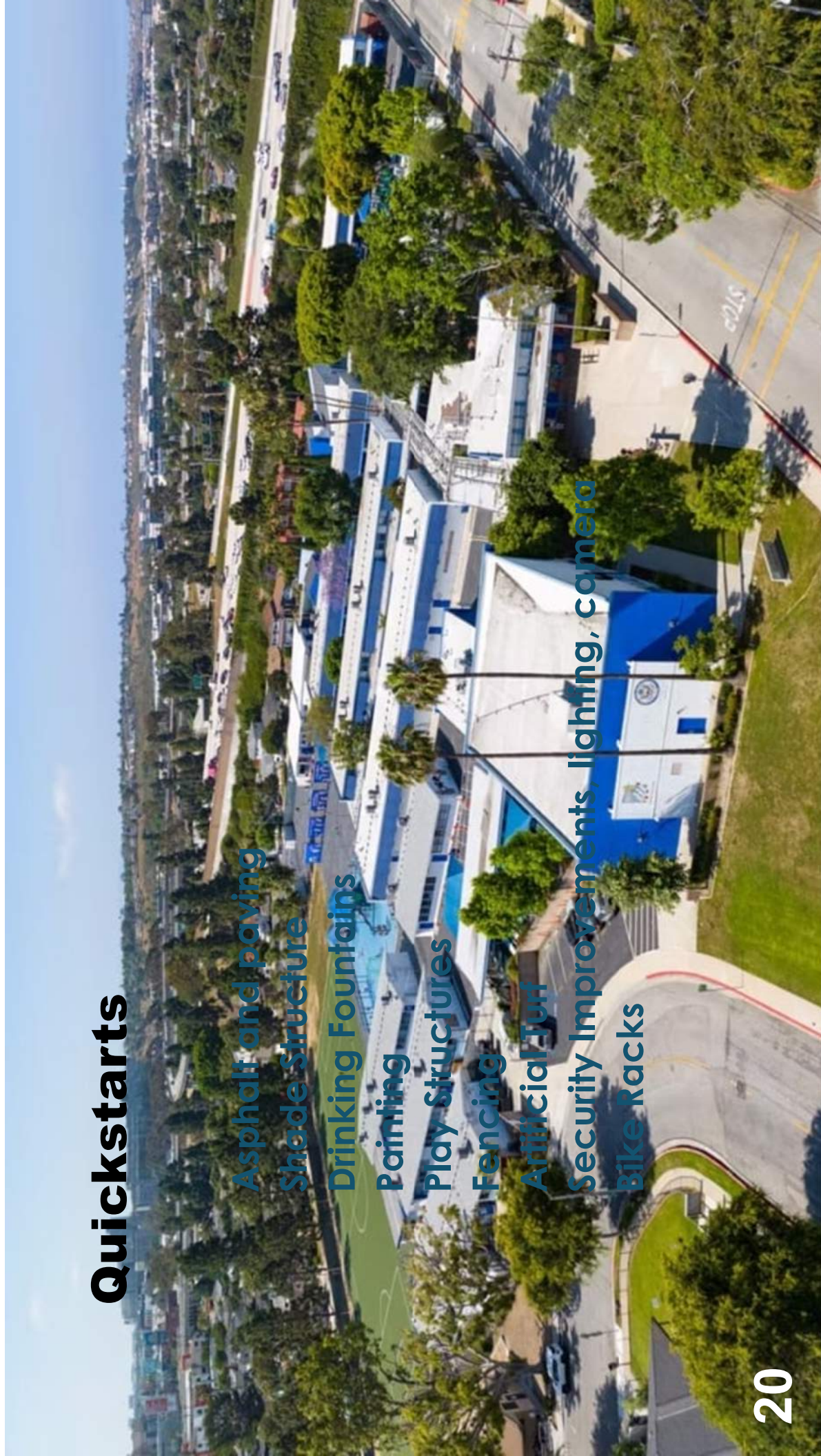
Play Structures

Fencing

Artificial Turf

Security Improvements, lighting, camera

Bike Racks



Feedback required

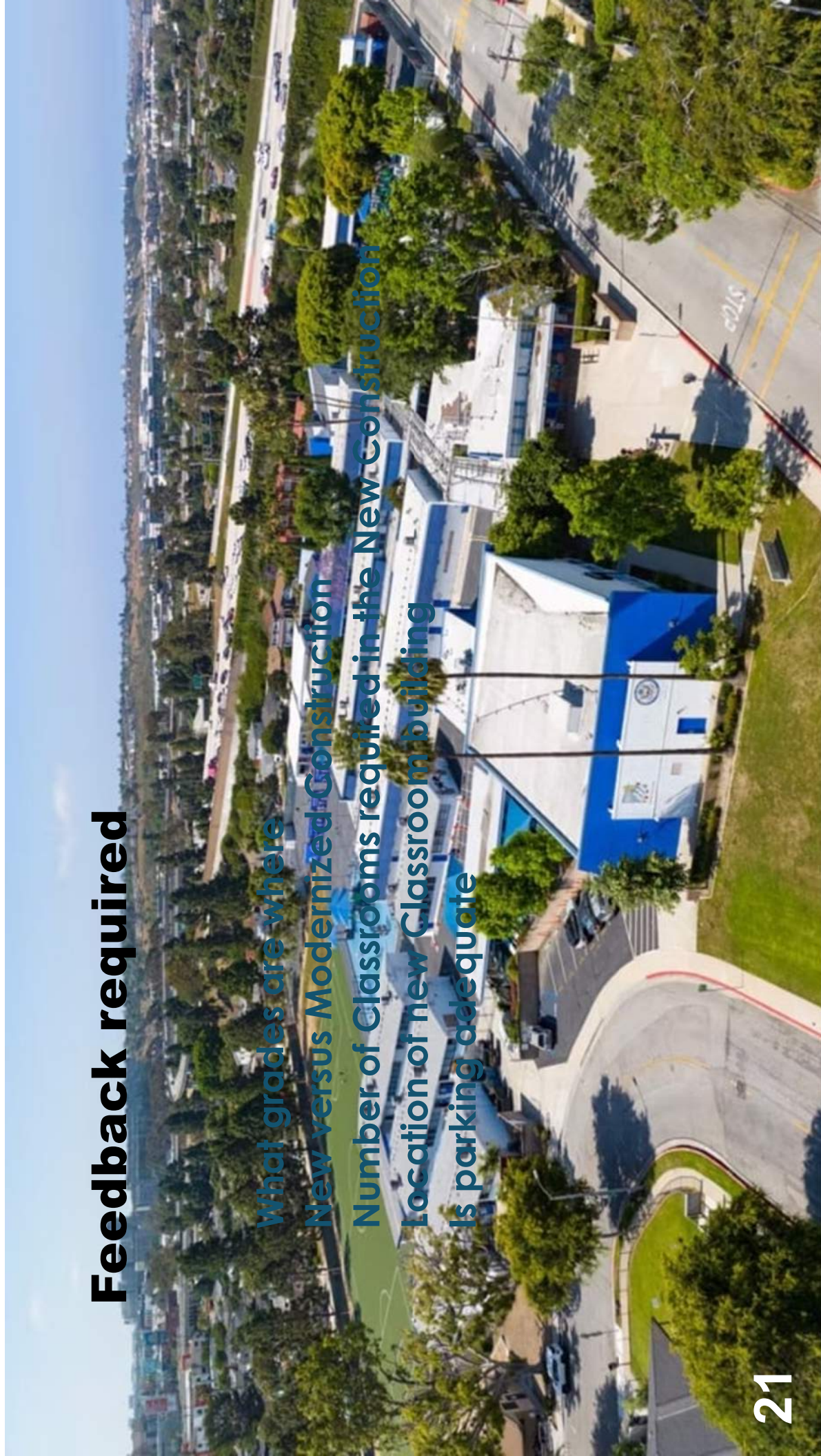
What grades are where

New versus Modernized Construction

Number of Classrooms required in the New Construction

Location of new Classroom building

Is parking adequate



El Marino Elementary School

Thank you !

Project Meeting Report



tBP/Architecture
4611 Teller Avenue
Newport Beach, CA 92660

Meeting Date: 11/13/2024

Project: El Marino Language School
Culver City Unified School District

Present: Santha Rajiv	-	CCUSD
Ilona Gergi	-	CCUSD
Preeti Dsouza	-	Telacu
Blaine Yoder	-	Telacu
Karin Lopez		Telacu
Monica Bell	-	El Marino Teacher
Myrna Martinez	-	El Marino Teacher
Tomoko Miyawaki	-	El Marino Teacher
Alice Horiba	-	El Marino Teacher
Lisa Collins	-	Parent (on committee)
Brent Knapp	-	Parent (on committee)
Greg Maron	-	Parent (on committee)
Citlalli Castillo		Parent (on committee)
Brad Thompson		Parent (on committee)
Marc Bauer		Parent
Claudia Fajardo		Parent
Gary Moon	-	tBP/Architecture
Hung Cheng	-	tBP/Architecture
Carolyn Loughrey	-	tBP/Architecture
Bob Demmond	-	tBP/Architecture

PURPOSE OF THE MEETING

Presentation of master plan options.

DISCUSSION

1. Space Allocation:
 - a. Preschool – site licensed for 34 children.
 - b. Teacher input indicated need for faculty meeting spaces.
 - c. Classrooms 21, 22 and 23 are too small for 1st grade classrooms.
 - d. (5) portable classroom buildings to be removed from site.
 - e. 40 classrooms needed for site.
 - f. 2 specialty classrooms needed for site.
 - g. 1 faculty room needed for site

- h. Confirm classroom allocations based on teacher-to-student ratio based on grade level.

1. Grade TK:	1:20
2. Grade K:	1:24
3. Grades 1-3:	1:24
4. Grades 4-5:	1:28

2. Presentation

- a. Focus on (1) new classroom building and modernizing existing classrooms.

b. Option A:

1. Question: Can the 2-story classroom building be located adjacent to freeway?
Are there air quality concerns that need to be addressed?
 - Answer (tBP): Air quality concerns can be mitigated with use of high-performance air filters within the HVAC units.
2. (7) classrooms will be moved.

c. Option B:

1. 1-story building for Kindergarten/TK.
2. Smaller yard/play area for Kindergarten/TK a concern.
3. Question: Why not develop a 2-story building in the Kindergarten/TK area?
 - Answer: Having upper grade students within Kindergarten/TK area would create site flow issues—maintaining separation between Kindergarten/TK and upper grades.
4. Number of classrooms a concern.

d. Option C:

1. 2-story building for upper grades.
2. Most expensive.
3. Number of classrooms a concern—(1) classroom short.

3. Group Discussion

- a. What does Modernization mean for the teachers during the construction phase?
Where do the teachers and their students get relocated to?

1. The modernization phase of the project would require a logistics plan to determine relocation strategy for site using interim housing (portables) for one school year—rotating classrooms out of portables as their respective classrooms are completed.

- b. Preferred option is the option that impacts the teachers the least.

- c. Teachers noted that the site has plumbing issues in the restrooms that will need to be addressed within the modernization project.

1. District confirmed that a site assessment for sewer and plumbing will be conducted to confirm scope to be addressed within modernization.

- d. Teachers noted that there are drainage issues at play field that will need to be addressed within the modernization project.

- e. Teachers indicated that they expect El Marino to receive upgrades equivalent to the other schools in the District.

1. El Marino has 300 more students than the other elementary schools.

- f. Parent noted that demographic study by Parks & Rec are indicating future population growth of 65,000 in Culver City, whereas the District is showing no growth.

1. District will follow up regarding population projections.

- g. Daylighting control: Need to address glare into classrooms.
 - 1. Electric shades are not an option due to maintenance concerns.
 - h. Teachers noted that site needs additional adult restrooms.
4. Quick-Start Projects:
- a. Lunch Shelter
 - b. Perimeter Fencing
5. Design Team Tasks:
- a. Option B preferred – further develop.
 - b. Confirm number of classrooms per grade based on faculty input and Master Plan projections. Total classrooms: 42 (40 core classrooms/2 specialty classrooms)
 - c. Confirm relocation of rose garden.
 - d. Provide list of impacts for options, including budgetary.
 - e. Show master plan with portables removed.
 - f. Evaluate relocation of 1st grade classrooms noted as too small.
 - g. Provide exhibit showing relocation of classrooms from old location to new location.
 - h. Reduce parking area to allow for additional buildable area—possibly for 1st grade classrooms.
 - i. Evaluate areas for additional green space for trees.
 - 1. Kindergarten/TK play area.
 - 2. Upper grades play area.
 - 3. Common areas.
6. Meetings:
- a. Faculty meeting: 11/20/24 @ 2pm
 - 1. tBP to present master plan update and development from 11/13/24 meeting.
 - b. Bi-weekly faculty/parent meeting: 12/11/24 @ 1:45pm.
 - 1. tBP to present development of Option B.

The above notes document our understanding of items discussed in the above referenced meeting. Unless written notice to the contrary is received within 7 days, the notations will be considered correct and acceptable.

Prepared by: Bob Demmond, tBP/Architecture

DISTRIBUTION

District for distribution, Design Team, File

ATTACHMENTS

Sign-In Sheet

Presentation

Inspiration Boards

■ Project Meeting Attendance

tBP/Architecture
4611 Teller Avenue
Newport Beach, CA 92660



Architecture
Planning
Interiors
Management

Date: 11/13/2024

Project: El Marino Elementary School

Meeting:

Attendees:

Name	Organization/ Title/ Department
Brad Thompson	Parent, Member Site Comm. Sec
CAROLYN LOUGHEEY	TBP
Ilona Gergo	OCD Ilonagergi@ccusd.org
Brent Knapp	Parent
Karin Lopez	TELACU Karin@TELACU.com
Tomoko Miyazaki	EM Teacher
PREETI D'SOUZA	TELACU pdsouza@telacu.com
Bkine Yoder	TCM byoder@telacu.com
Claudia Fajardo	Parent ceflir@yahoo.com
BOB DEMMOND	TBP
ALICE HORIBA	EM Teacher
Citlalli Castillo	Parent on Committee. citla.07@gmail.com.
Myrna Marting	EM Teacher
Santhe Rajiv	CCUSD



**Architectural Services for
Measure E Projects
El Marino Elementary School
Programming Meeting #2
November 13, 2024**

“Success for All... Takes us All!”



Agenda

Introductions
Quick Review of Previous Meeting
Review Needs/Findings
Review Complex Plan Options
Red/Green Aesthetic Choices
Quick Start Projects
Next Steps

El Marino Elementary School

Quick review of previous meeting



2022 MASTER PLAN



EXISTING GRADE CONFIGURATION



OPTIONAL BUILDING LOCATIONS

Grade	2023-24 Enrollment	number of students per classroom	Number of Classrooms required per s in master plan	Enrollment	Number of Classrooms in master plan	Location in master plan
Grade TK	20	1.20	1	1	6	new K Bldg complex
Grade K	133	1.24	6	6	6	
Total of TK, K	153			7	6	
Grade 1	133	1.28	5	5	5	6 ex. Bldg #3
Grade 2	136	1.28	5	5	5	6 ex. Bldg #4
Grade 3	122	1.28	5	5	5	6 ex. Bldg #5
Grade 4	118	1.28	5	5	5	5 ex. Bldg #12
Grade 5	124	1.28	5	5	12	New CR Bldg
Total of Grade 1-6	633			25	35	
Total	786					

CLASSROOMS NEEDED

PHASE 1 SCOPE:

1. Construct a new two-story building with twelve classrooms. Include small support spaces for pull-out programs. Include restrooms, storage, mechanical, custodial, elevator, and stairs.
2. Keep existing relocatable classrooms in place to use as swing space for classroom modernizations.
3. Modernize existing classrooms.

El Marino Elementary School

Review Needs/Findings

EL MARINO Elementary School																								
Grade	2023-24 Enrollment	Number of students per Classroom	Number of Classrooms required per Enrollment	Comp.	Number of Classrooms in the existing campus	Number of Classrooms in the existing campus																		
						Bldg #01	Bldg #02	Bldg #03	Bldg #04	Bldg #05	Bldg #06	Bldg #07	Bldg #08	Bldg #09	Bldg #10	Bldg #11	Bldg #12	Relo 1	Relo 2	Relo 3	Relo 4			
PRE-SCHOOL	20	1:20	1	0	1																1			
TK	20	1:20	1	1	2																		1	
K	133	1:24	6	0	6					1	2	3												
Grade 1	133	1:24	6	0	6					2										4				
Grade 2	136	1:24	6	0	6				2	2										2				
Grade 3	122	1:24	6	0	6			2	3						1									
Grade 4	118	1:28	5	0	5			3							1		1							
Grade 5	124	1:28	5	0	5											3	2							
Spec. Ed.			1	0	1												1							
Art			2	0	2										1									1
			39		40			5	5	5	5	2	3	2	1	1	4	3	6	1	1	1	1	1

Title V:

TK/Kindergarten classrooms: 1350 SF, (including restrooms, storage, teacher preparation, wet and dry areas).

General classrooms, grades 1-12: 960 SF

Special Day classrooms: 960 SF (at least)

Title 22 section 7:

Child Care classroom: 35 square feet per student

Child Care Play Area: 75 square feet per student



CULVER CITY
UNIFIED SCHOOL DISTRICT



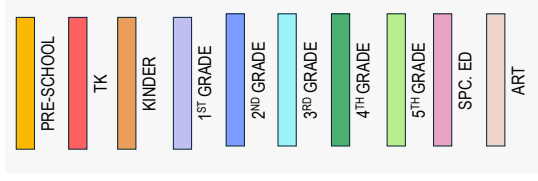
El Marino Elementary School

Review Needs/Findings



EXISTING GRADE CONFIGURATION PLAN

5 Portable Buildings to replace



El Marino Elementary School

Complex Plan Options



OPTION A: 2-STORY: 8 New CRs

Positives:

- 2 Story Building with small footprint.
- Easy to construct: on edge.

Negatives:

- Student circulation goes around row buildings to access southern building.
- Must modernize row buildings to fit right-sized K and TK CR's.
- TK/K play amid row buildings.
- Near freeway.
- Some TK /K in relos during construction.
- Potential requirement for REH seismic upgrades.



OPTION B: 1-STORY: 7 New CRs

Positives

- 1 Story building, cost effective
- Cohesive TK/K Building
- Easy to construct on edge.
- New building visibility
- Separate drop-off pick-up area for TK/K

Negatives:

- TK/K in relos during construction.



OPTION C: 2-STORY: 16 New CRs

Positives:

- Easy to construct: on edge.

Negatives:

- 16 classrooms to be built.
- Student circulation goes around row buildings to access southern building.
- 14 CR relos during construction.
- Potential requirement for REH seismic upgrades.



El Marino Elementary School

Option A – Final 1ST Floor



- PRE-SCHOOL
- TK
- KINDER
- 1ST GRADE
- 2ND GRADE
- 3RD GRADE
- 4TH GRADE
- 5TH GRADE
- SPC. ED
- ART

- New parking (total 60 stalls)

EL MARINO Elementary School					Number of Classrooms in the existing campus	
Grade	2023-24 Enrollment	Number of students per Classroom	Number of Classrooms required per Enrollment	Comp.		
PRE-SCHOOL	20	120	1	0	1	1
TK	20	120	1	1	1	2
K	133	124	6	0	6	6
Grade 1	133	124	6	0	6	6
Grade 2	136	124	6	0	6	6
Grade 3	122	124	6	0	6	6
Grade 4	118	128	5	0	5	5
Grade 5	124	128	5	0	5	5
Spec. Ed.				1	0	1
Art				2	0	2
					39	40

El Marino Elementary School

Option A – Final 2nd floor



- PRE-SCHOOL
- TK
- KINDER
- 1ST GRADE
- 2ND GRADE
- 3RD GRADE
- 4TH GRADE
- 5TH GRADE
- SPC. ED
- ART

- New parking (total 60 stalls)

EL MARINO Elementary School					Number of Classrooms in the existing campus	
Grade	2023-24 Enrollment	Number of students per Classroom	Number of Classrooms required per Enrollment	Comp.		
PRE-SCHOOL	20	120	1	0	1	1
TK	20	120	1	1	1	2
K	133	124	6	0	6	6
Grade 1	133	124	6	0	6	6
Grade 2	136	124	6	0	6	6
Grade 3	122	124	6	0	6	6
Grade 4	118	128	5	0	5	5
Grade 5	124	128	5	0	5	5
Spec. Ed.				1	0	1
Art				2	0	2
					39	40

El Marino Elementary School Complex Plan Options: Massing Study



VIEW FLYING
ABOVE THE
CORNER OF
HAYTER AVE.
AND PORT ROAD
LOOKING SOUTH

Existing View



El Marino Elementary School Complex Plan Options: Massing Study



VIEW FLYING
ABOVE
COOLIDGE AVE.
LOOKING
NORTH.

Existing View



El Marino Elementary School Complex Plan Options: Massing Study



VIEW FLYING
ABOVE
COOLIDGE AVE.
LOOKING INTO
TK/K PLAY AREA

Existing View



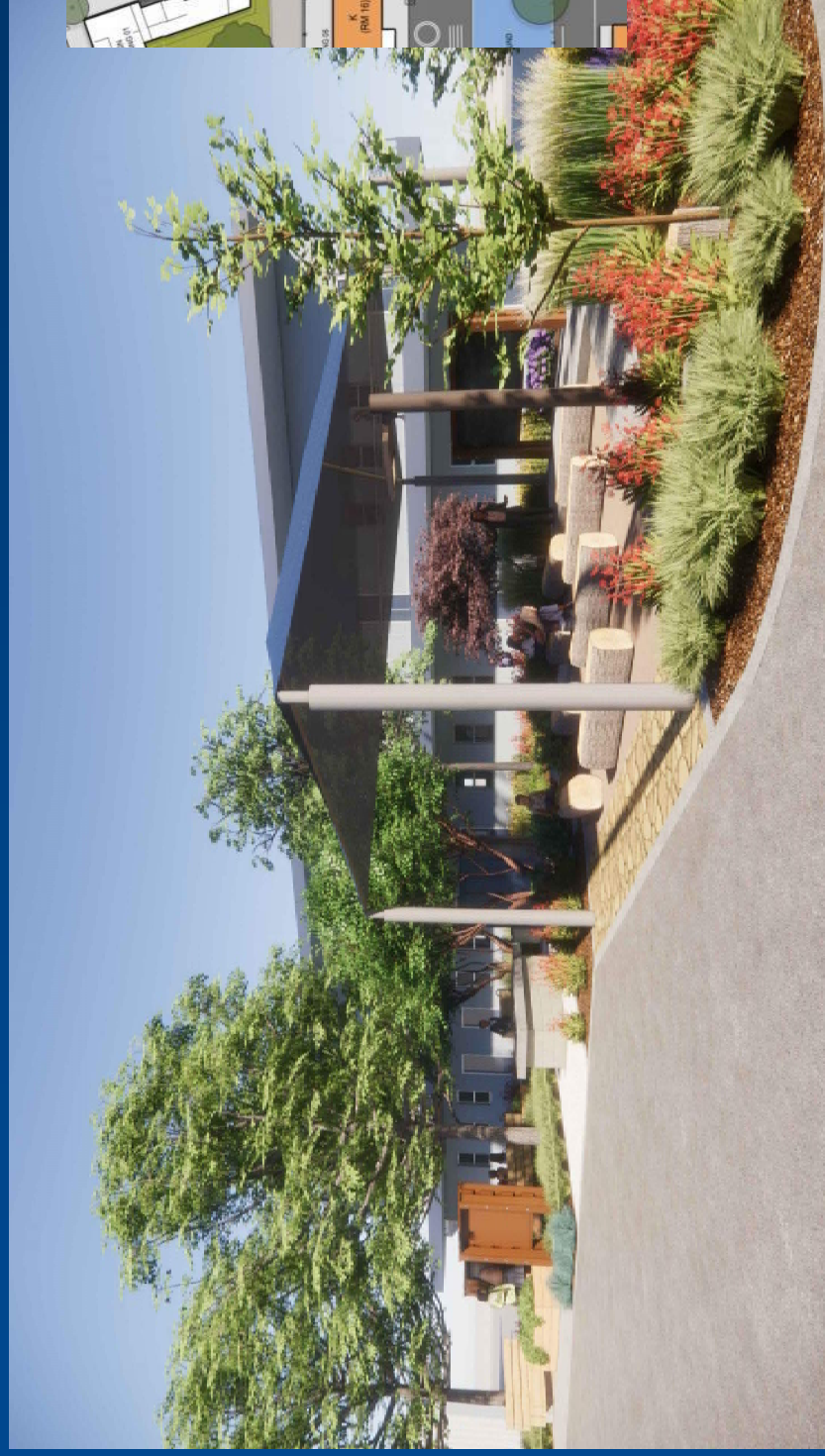
El Marino Elementary School Complex Plan Options: Massing Study



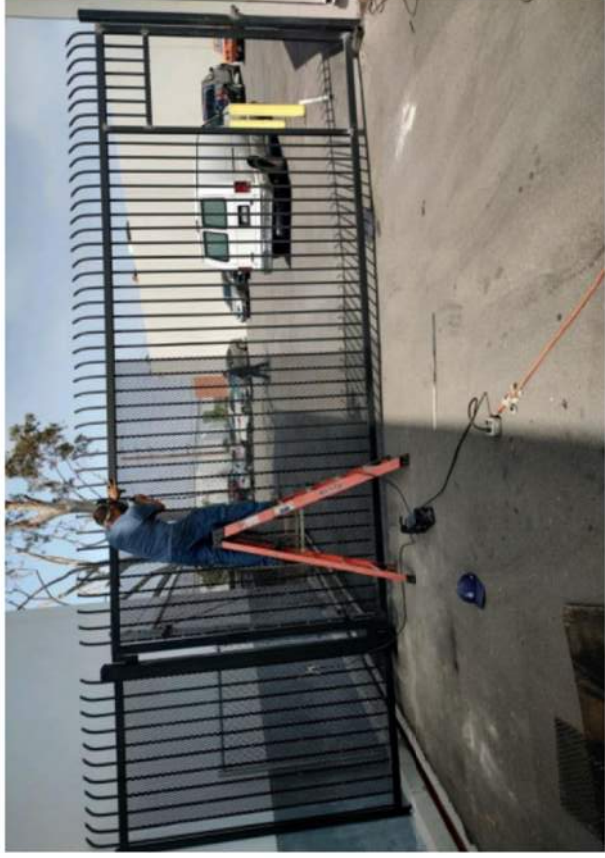
LOOKING
NORTH ALONG
PORT ROAD.

Existing View

El Marino Elementary School Quick Start Projects



El Marino Elementary School Quick Start Projects



IRON ORNAMENTAL FENCING WITH WELDED MESH BACKING
(THIS IS THE STYLE WE'VE RECEIVED QUOTES FOR)



El Marino Elementary School Quick Start Projects

Regular chain link fence



REGULAR CHAIN LINK FENCING (MY FINGERS COMPARED TO THE DIAMOND SIZE)

Anti-climbing fence



ANTI-CLIMB CHAIN LINK FENCING (MY FINGERS COMPARED TO THE DIAMOND :)



Option B



El Marino Elementary School Next Steps

**Develop Floor Plans
Explore Massing Options/Exterior Aesthetics
Develop Quick Start Projects**

El Marino Elementary School

Thank you !

El Marino Elementary School Option B

OPTION B

El Marino Elementary School

Option B – New building location



PRE-SCHOOL	TK	KINDER	1ST GRADE	2ND GRADE	3RD GRADE	4TH GRADE	5TH GRADE	SPC. ED	ART
------------	----	--------	-----------	-----------	-----------	-----------	-----------	---------	-----

41 Current CR sized teaching spaces



[illegible]

- 22

El Marino Elementary School

Option B – Sequence 3



- Move kinder classrooms to new kinder classroom building
- Move (3) kinder classrooms from bldg. #7 to existing relos.
- Modernize bldg. #7 to accommodate (2) TK, (1) pre-school and (1) kinder.
- Move (2) TK, (1) pre-school and (1) kinder to bldg. #7

Removal

Modernization



El Marino Elementary School

Option B – Final

- PRE-SCHOOL
- TK
- KINDER
- 1ST GRADE
- 2ND GRADE
- 3RD GRADE
- 4TH GRADE
- 5TH GRADE
- SPC. ED
- ART



- Move the basketball court to new location
- Extended parking

41 Current CR sized teaching spaces total + Southern Building has CRs that are too small so renovate to create 2 and add 2 to the new building





ARCHITECTURE



OUTDOOR LEARNING ENVIRONMENTS

Project Meeting Report



tBP/Architecture
4611 Teller Avenue
Newport Beach, CA 92660

Meeting Date: 12/11/2024

Project: El Marino Language School
Culver City Unified School District

Present: Santha Rajiv	-	CCUSD
Dana Miller		CCUSD – Director MOT
Preeti Dsouza	-	Telacu
Blaine Yoder	-	Telacu
Karin Lopez		Telacu
Jennifer Servin		El Marino Assistance Principal
Monica Bell	-	El Marino Teacher
Myrna Martinez	-	El Marino Teacher
Tomoko Miyawaki	-	El Marino Teacher
Alice Horiba	-	El Marino Teacher
Brent Knapp	-	Parent (on committee)
Citlalli Castillo		Parent (on committee)
Brad Thompson		Parent (on committee)
Maryam Majnoaniam		Parent (Garden Committee)
Marc Bauer		Parent
Claudia Fajardo		Parent
Dorien Davies		ESC Chair
Gary Moon	-	tBP/Architecture
Hung Cheng	-	tBP/Architecture
Bob Demmond	-	tBP/Architecture

PURPOSE OF THE MEETING

Presentation of Master Plan – Option B.

DISCUSSION

1. Presentation:
 - a. Discussed programming objectives.
 1. Concern: Green space/shade—old growth trees a priority for site.
 2. Concern: Rose garden important to site.
 - b. Phasing reviewed.
 1. Classroom count: 28
 2. Administration modernization not included in Phase 1.
 3. Auditorium modernization not included in Phase 1.
 - Auditorium scope could be considered if Phase 1 project costs allow.

4. Project funding
 - Faculty concerned with equity based on school enrollment.
 - a. Consider additional funding under Prop 2.
 5. Art classrooms
 - Two provided (two needed).
 6. Faculty room
 - Needs to be a flexible space for school use.
 - Teacher meeting/conference room
 7. Specialty classrooms
 - Speech
 - a. Space allocation for 6-8 students and 2 adults.
 - Occupational Therapy
 - a. Space allocation for 6-8 students and 2 adults.
 8. Pre-Kindergarten
 - Confirm restroom requirements
 9. Classrooms 21-23
 - Resized into two classrooms for proper instructional use.
 10. Cafeteria
 - Provide water bottle filling station(s)
 11. Sustainable strategies
 - Rainwater collection
 - Solar
 - Daylighting
 - Heat Island mitigation (natural shading vs shade structures)
 - Indoor Air Quality
 - a. Indoor/Outdoor spaces at classrooms not ideal due to outdoor air quality conditions.
 - b. Operable windows not ideal for classrooms due to outdoor air quality conditions.
 - c. Evaluate existing HVAC systems and provide recommendations for enhanced air filtration within classrooms.
 - c. 40 classrooms needed for site.
 - d. 2 specialty classrooms needed for site.
2. Meetings:
- a. Bi-weekly faculty/parent meeting: 1/15/25 @ 1:45pm.
 1. tBP to present further development of Option B.

The above notes document our understanding of items discussed in the above referenced meeting. Unless written notice to the contrary is received within 7 days, the notations will be considered correct and acceptable.

Prepared by: Bob Demmond, tBP/Architecture

DISTRIBUTION

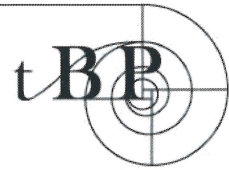
District for distribution, Design Team, File

ATTACHMENTS

Sign-In Sheet
Presentation

Project Meeting Attendance

tBP/Architecture
4611 Teller Avenue
Newport Beach, CA 92660



Architecture
Planning
Interiors
Management

Date: 12/11/2024

Project: El Marino Language School

Meeting:

Attendees:

Name	Organization/ Title/ Department
------	---------------------------------

Maryam Majnoonian	Parent / Garden Committee
KARLU LOPEZ	TELA CU
Maria Bell	Teacher
Myrna Martinez	Teacher
Marc Bauer	Parent
Brad Thompson	Parent
PREETI DSOUZA	TELA CU
Claudia Fajardo	Parent
Citlali Castillo	Parent / Committee
Brent Knapp	Parent
JANA L. MORA	DIRECTOR MOT
Jennifer Servin	EM Assistant Principal
Santha Rajiv	CCUSD
Tomoko Miyawaki	teacher
Alice Horiba	teacher
Dorien Davies	ESC Chair



**Architectural Services for
Measure E Projects
El Marino Language School
Meeting #4
December 11, 2024**

“Success for All... Takes us All!”



Agenda

1. Last Meeting's Decisions
2. Development of Chosen Option
3. Enlarged Floor Plans
4. Massing Options

Last Meeting

1. Construct a new building. Include small support spaces for pull-out programs.
 2. Modernize existing classrooms.
 3. Remove all portable classrooms.
- TK/ Kindergarten classrooms: 1350 SF
 - General classrooms, grades 1-12: 960 SF
 - Pre-School classrooms: 960 SF

El Marino Elementary School

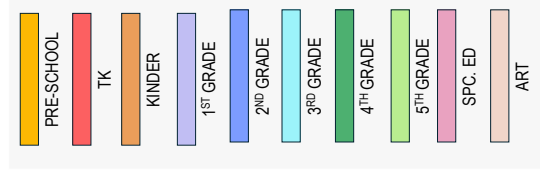
Last Meeting



EXISTING GRADE CONFIGURATION PLAN

40 Existing Classrooms

Replace 5 Portable Buildings



El Marino Elementary School

Last Meeting: Options

Need 41 Classrooms + Specialty Spaces
(Admin, Counseling, Wellness, Teacher's Restroom, Storage)



OPTION A: 2-STORY: 8 New CRs

Positives:

- 2 Story Building with small footprint.
- Easy to construct: on edge.

Negatives:

- Student circulation goes around row buildings to access southern building.
- Must modernize row buildings to fit right-sized K and TK CR's.
- TK/K play amid row buildings.
- Near freeway.
- Some TK /K in relos during construction.
- Potential requirement for REH seismic upgrades.



OPTION B: 1-STORY: 7 New CRs

Positives

- 1 Story building, cost effective
- Cohesive TK/K Building
- Easy to construct on edge.
- New building visibility
- Separate drop-off pick-up area for TK/K

Negatives:

- TK/K in relos during construction.

Chosen Option



OPTION C: 2-STORY: 16 New CRs

Positives:

- Easy to construct: on edge.

Negatives:

- 16 classrooms to be built.
- Student circulation goes around row buildings to access southern building.
- 14 CR relos during construction.
- Potential requirement for REH seismic upgrades.

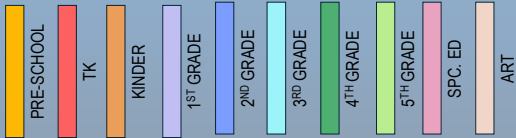


El Marino Elementary School Chosen Option

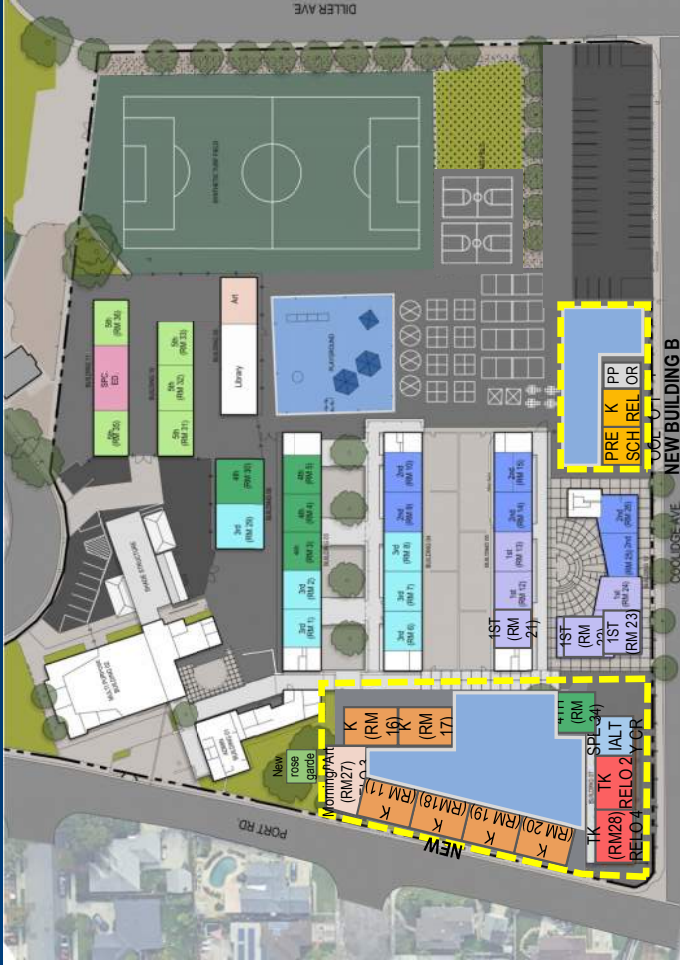
Chosen Option

El Marino Elementary School

Today and Completion



40 Existing Classrooms



41 Total Classrooms + Specialty



CULVER CITY
UNIFIED SCHOOL DISTRICT

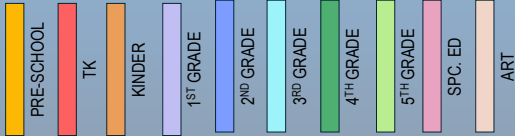


El Marino Elementary School

New building location

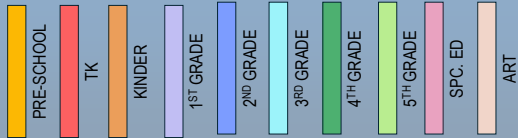


New building locations

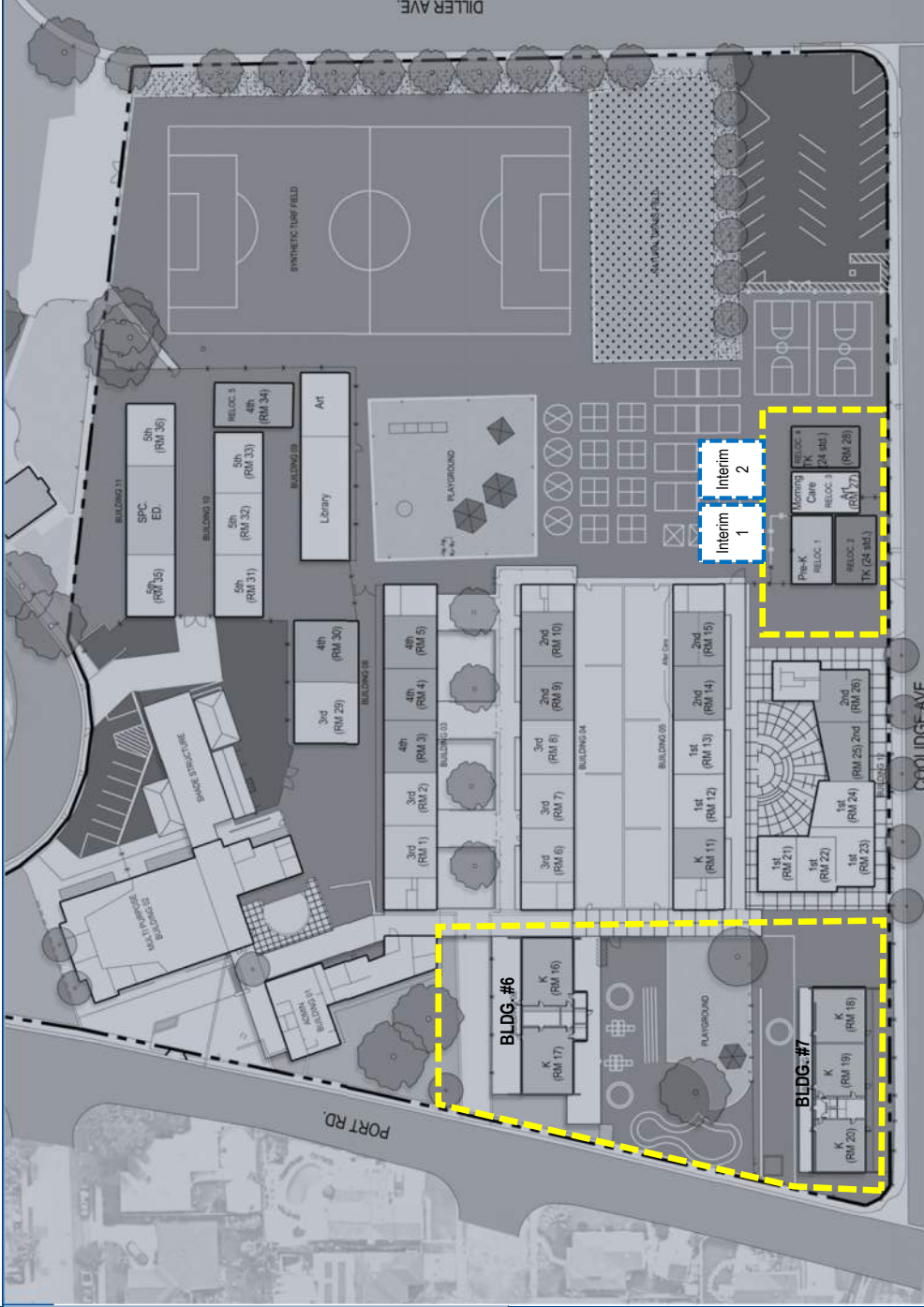


El Marino Elementary School

Step 1



- Place 2 new portables on-site.

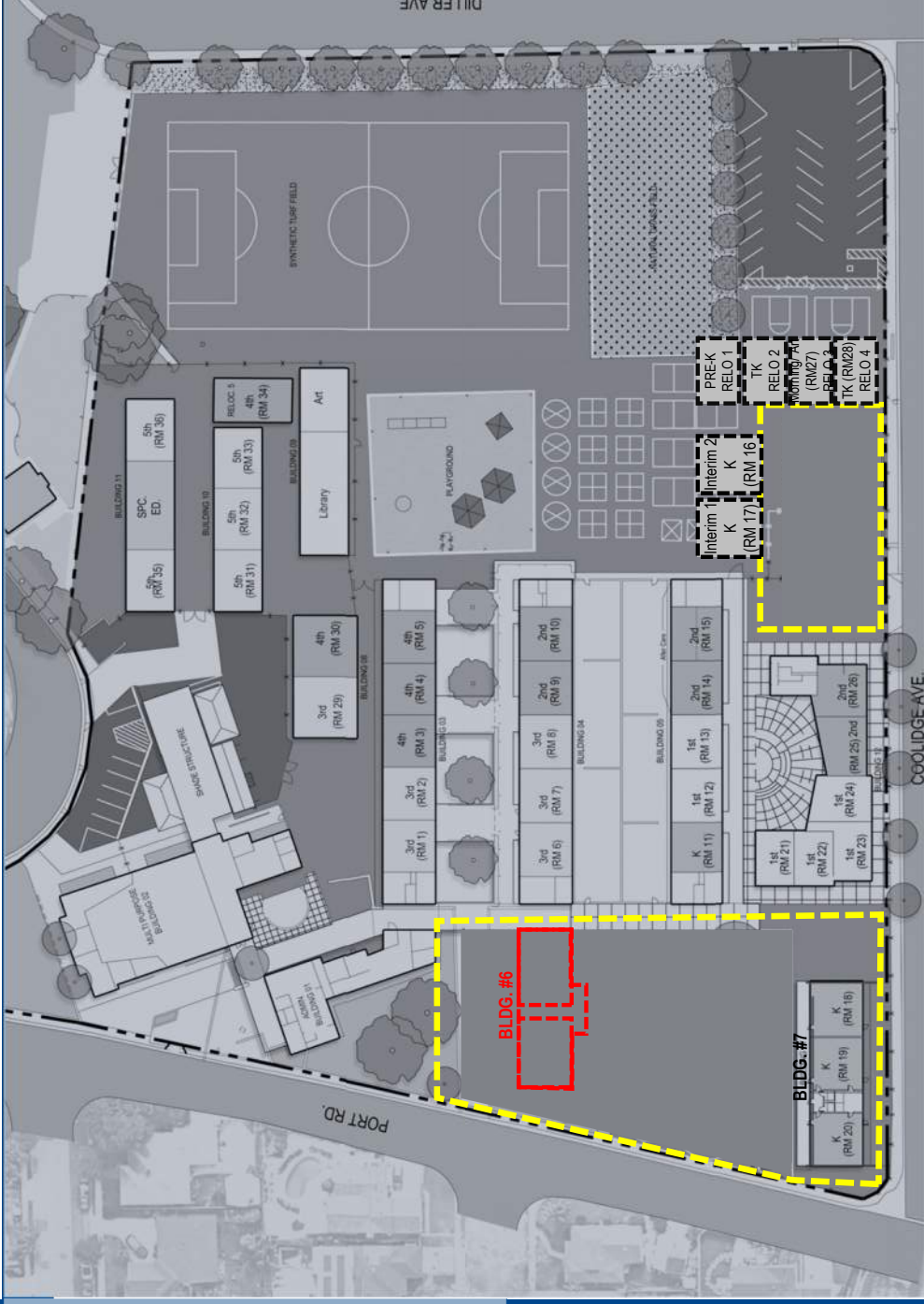


El Marino Elementary School

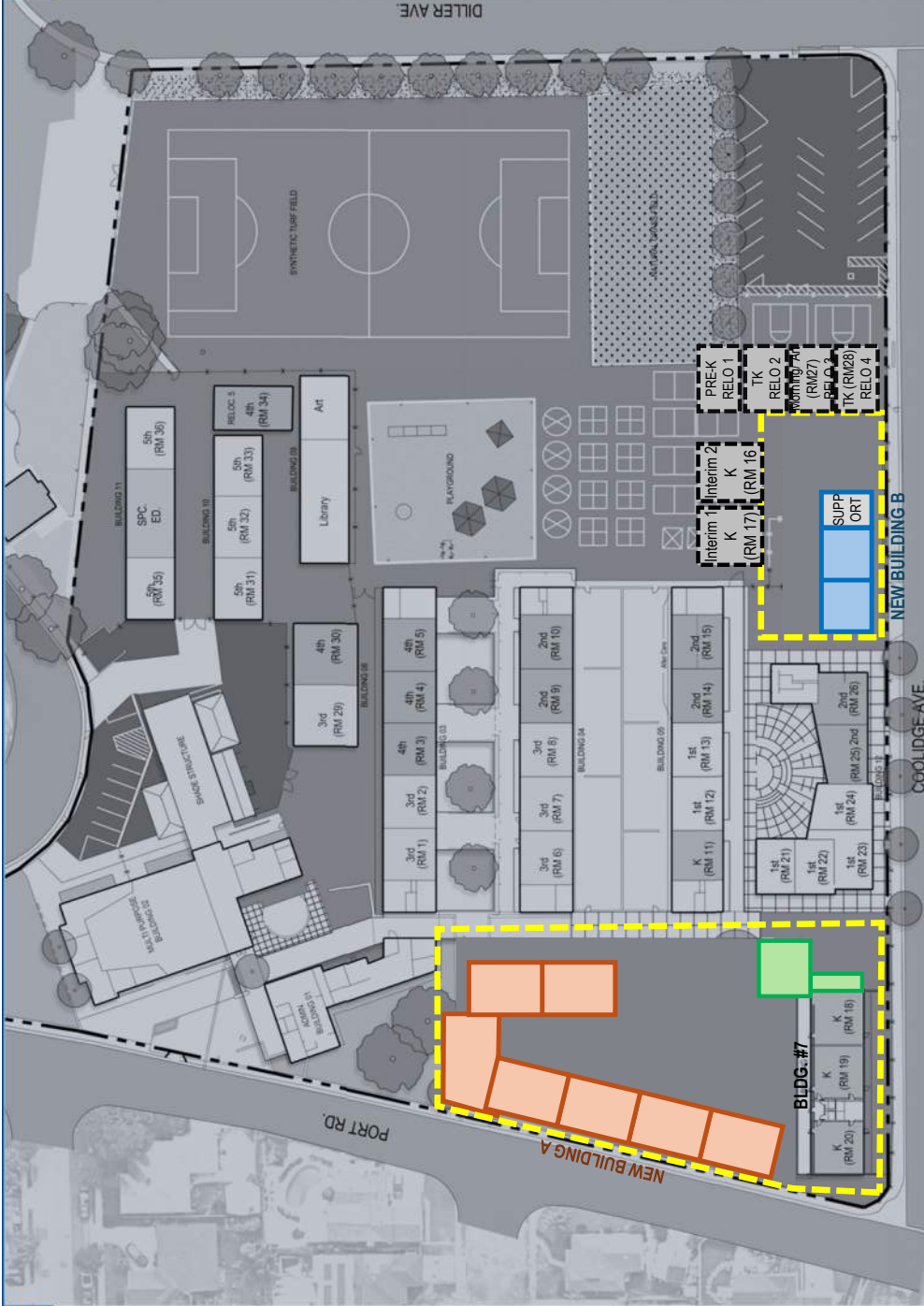
Step 3

	PRE-SCHOOL
	TK
	KINDER
	1 ST GRADE
	2 ND GRADE
	3 RD GRADE
	4 TH GRADE
	5 TH GRADE
	SPC. ED
	ART

- Demolish bldg. #6 (RM 16 and RM17) and the existing playground



Step 4

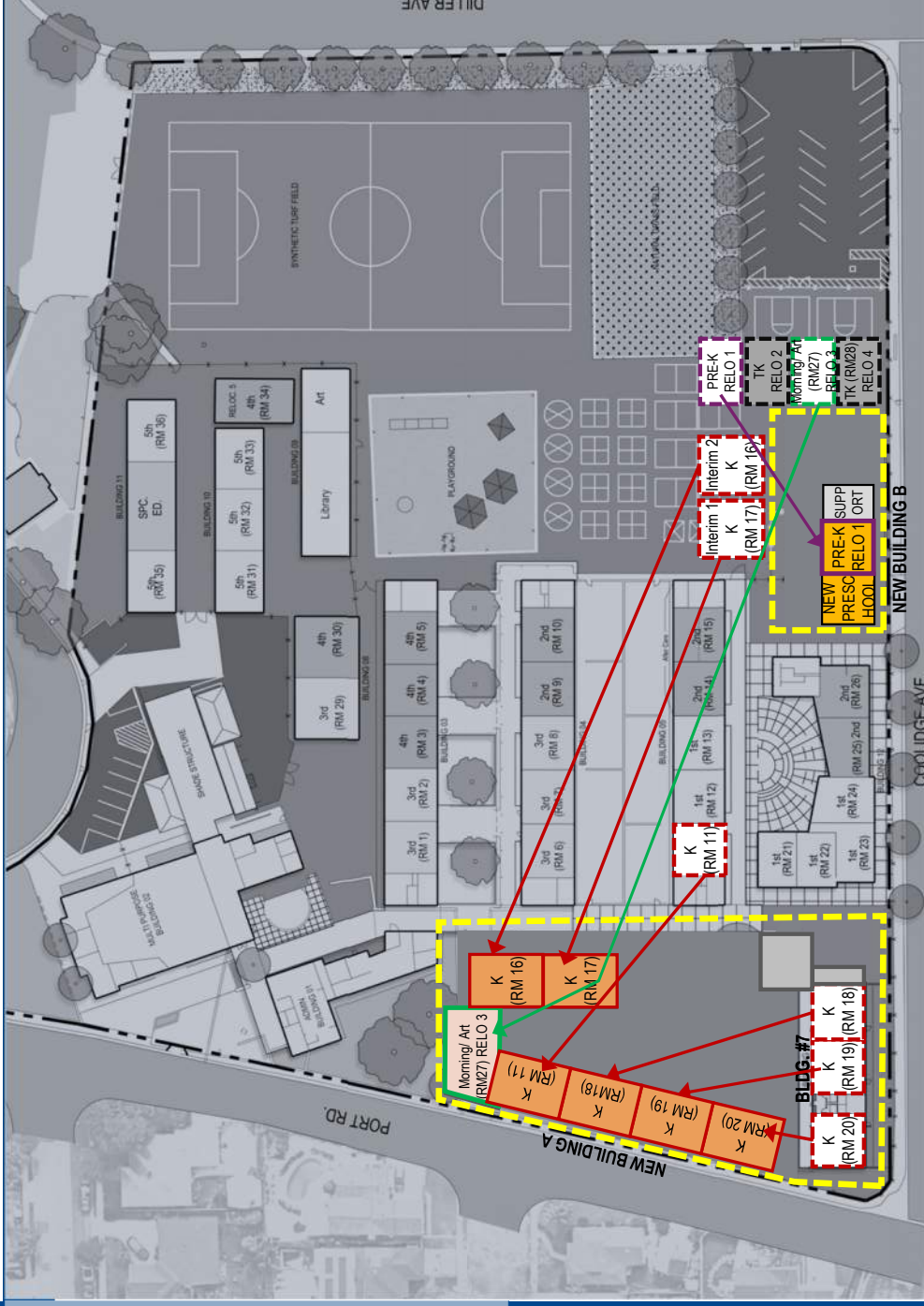


- Construct new building with (6) kinder classrooms and (1) regular classroom (10,100 ASF)
- Construct new building with (2) regular classrooms (1,960 ASF)
- Construct expansion to existing Bldg.#7

El Marino Elementary School

Step 5

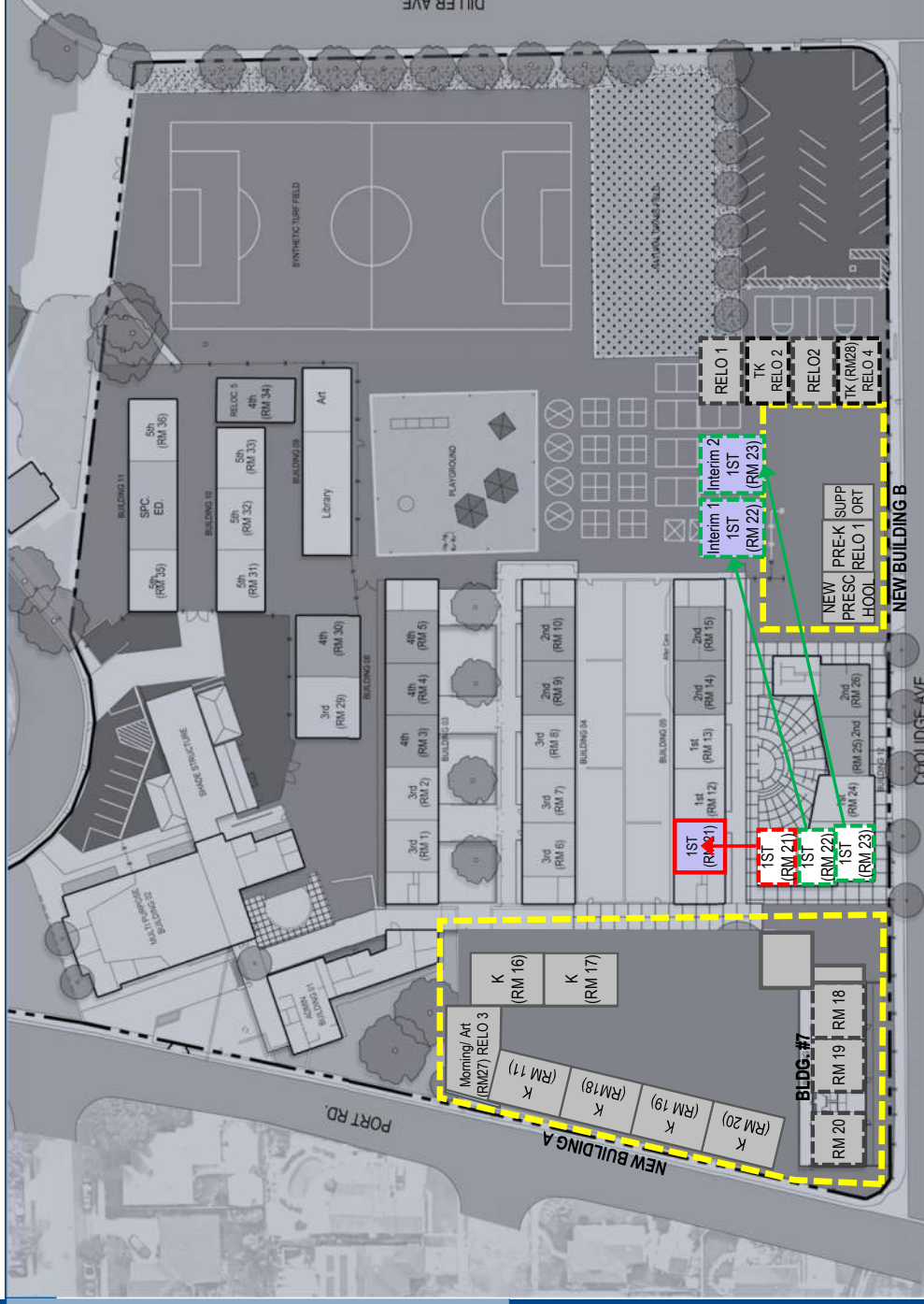
	PRE-SCHOOL
	TK
	KINDER
	1ST GRADE
	2ND GRADE
	3RD GRADE
	4TH GRADE
	5TH GRADE
	SPC. ED
	ART



Step 6

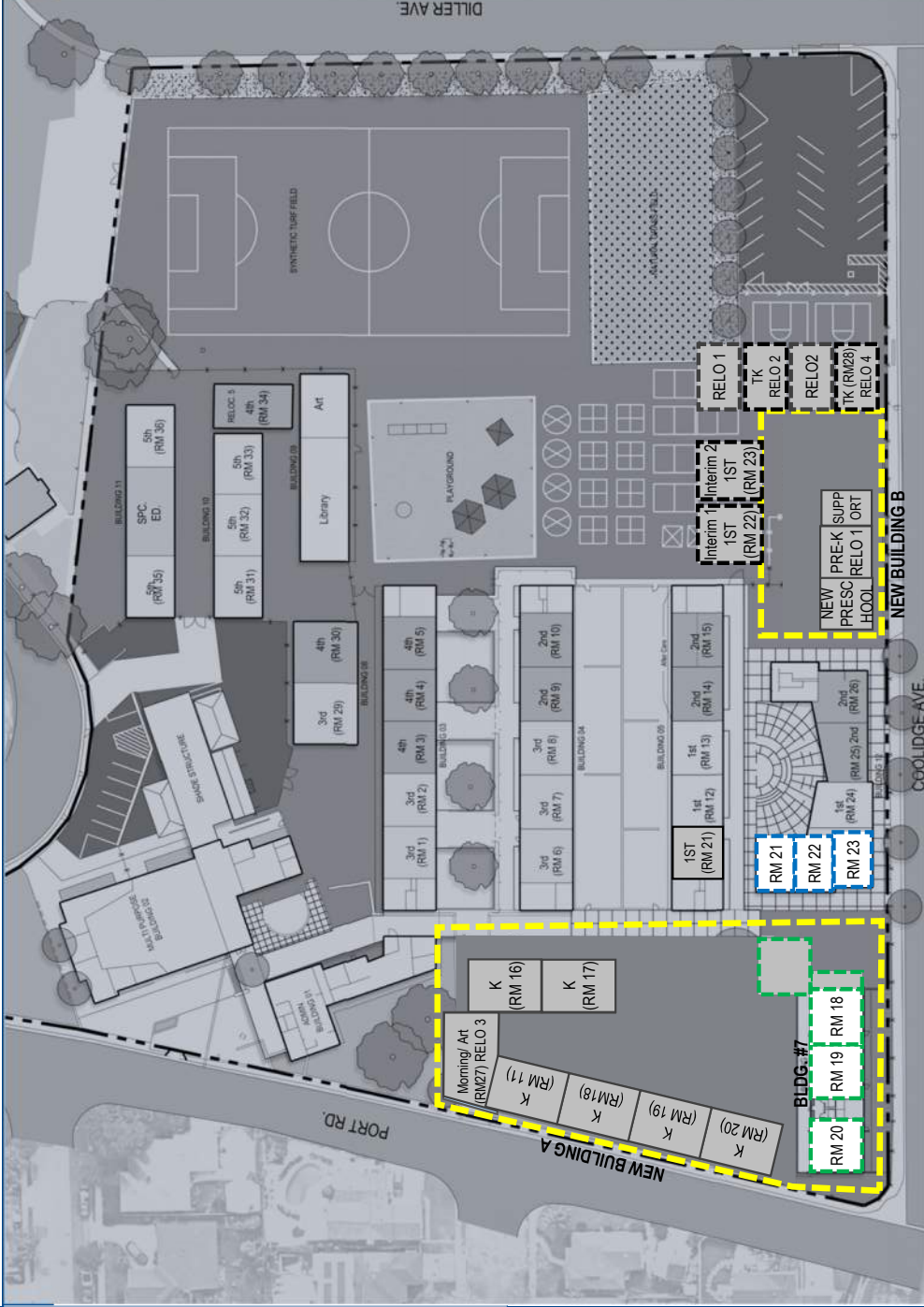
- **Move (2) 1st grade classrooms (RM21 and RM22) from bldg. #12. to the interim housing 1 and 2.**

- **Move (1) 1st grade classrooms (RM 23) from bldg. #12. to RM11 in bldg. #5.**



Step 7

- **Modernize the existing bldg. #7 to accommodate (2) TK classrooms and (2) regular classrooms**

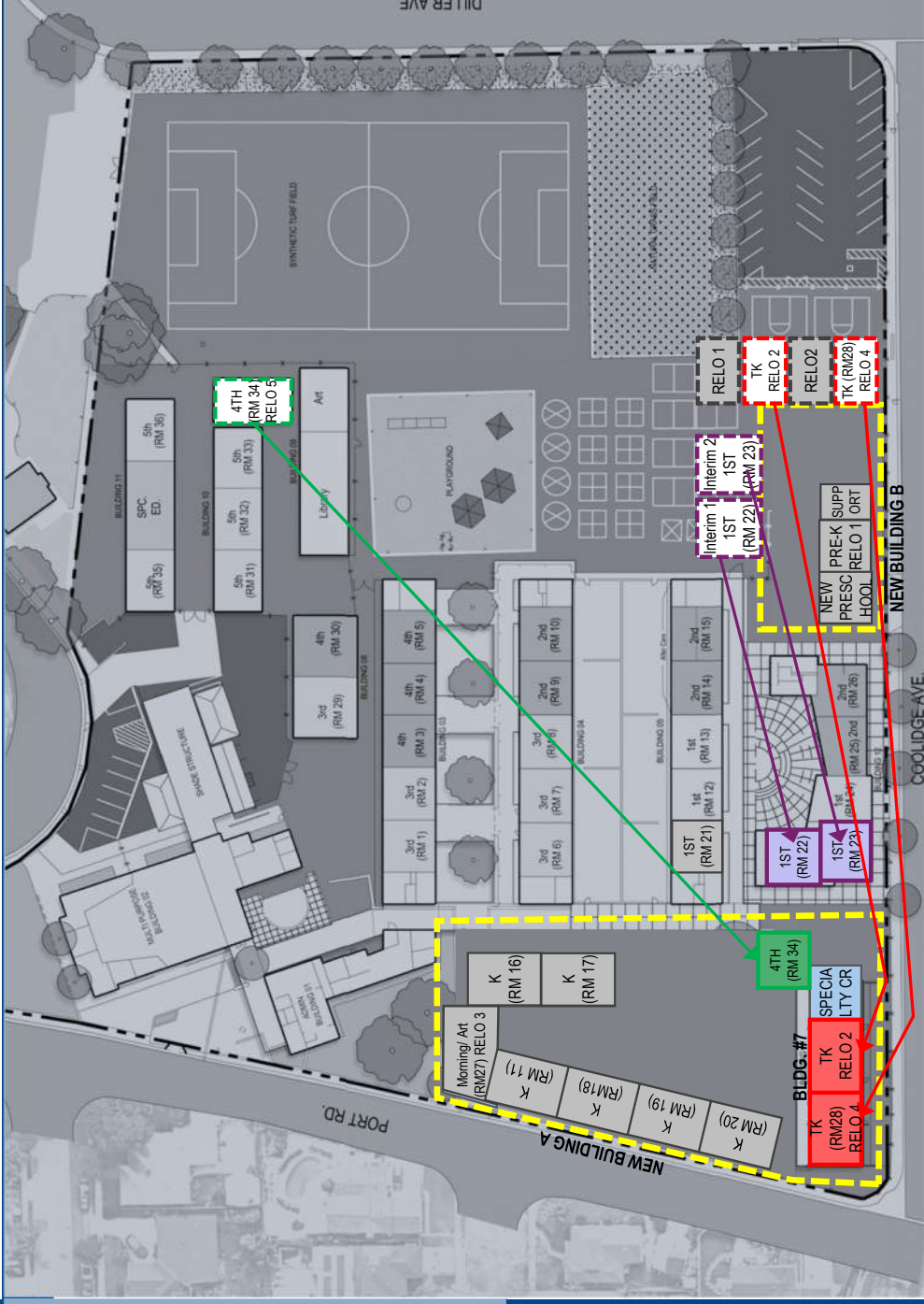


El Marino Elementary School

Step 8

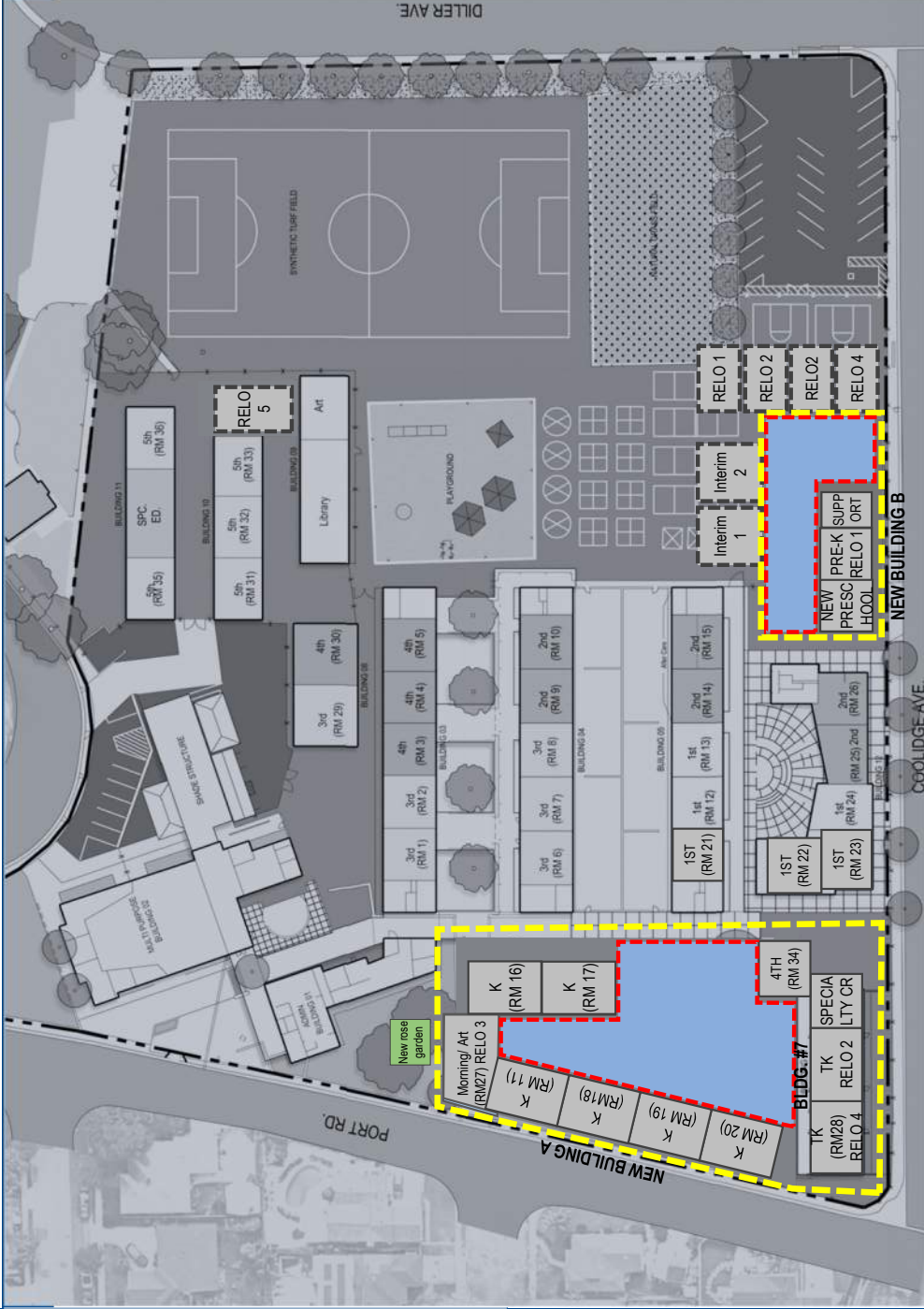
	PRE-SCHOOL
	TK
	KINDER
	1ST GRADE
	2ND GRADE
	3RD GRADE
	4TH GRADE
	5TH GRADE
	SPC. ED
	ART

- Move (1) 4th grade classroom from relo 5 to bldg. #7.
- Move (2) 1st grade classrooms (RM22 and RM 23) form the interim housing 1 and 2 back to bldg. #12
- Move (2) TK classroom form relo 2 and relo 4 to bldg. #7



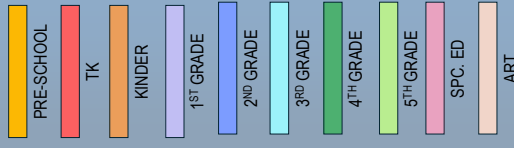
Step 9

- **Build playground**



El Marino Elementary School

Step 10



- Modernize (7) CRs at a time until every CR is modernized using (7) relo buildings as interim housings.
- Total (28 classroom spaces)
 - (3) 1st grade
 - (6) 2nd grade
 - (6) 3rd grade
 - (4) 4th grade
 - (5) 5th grade
 - (1) art
 - (1) Library (2 classroom spaces)
 - (1) Special education
- 4 rounds of modernization
- Reorganize grade levels for grade level adjacencies



Step 11

- Remove the relo buildings

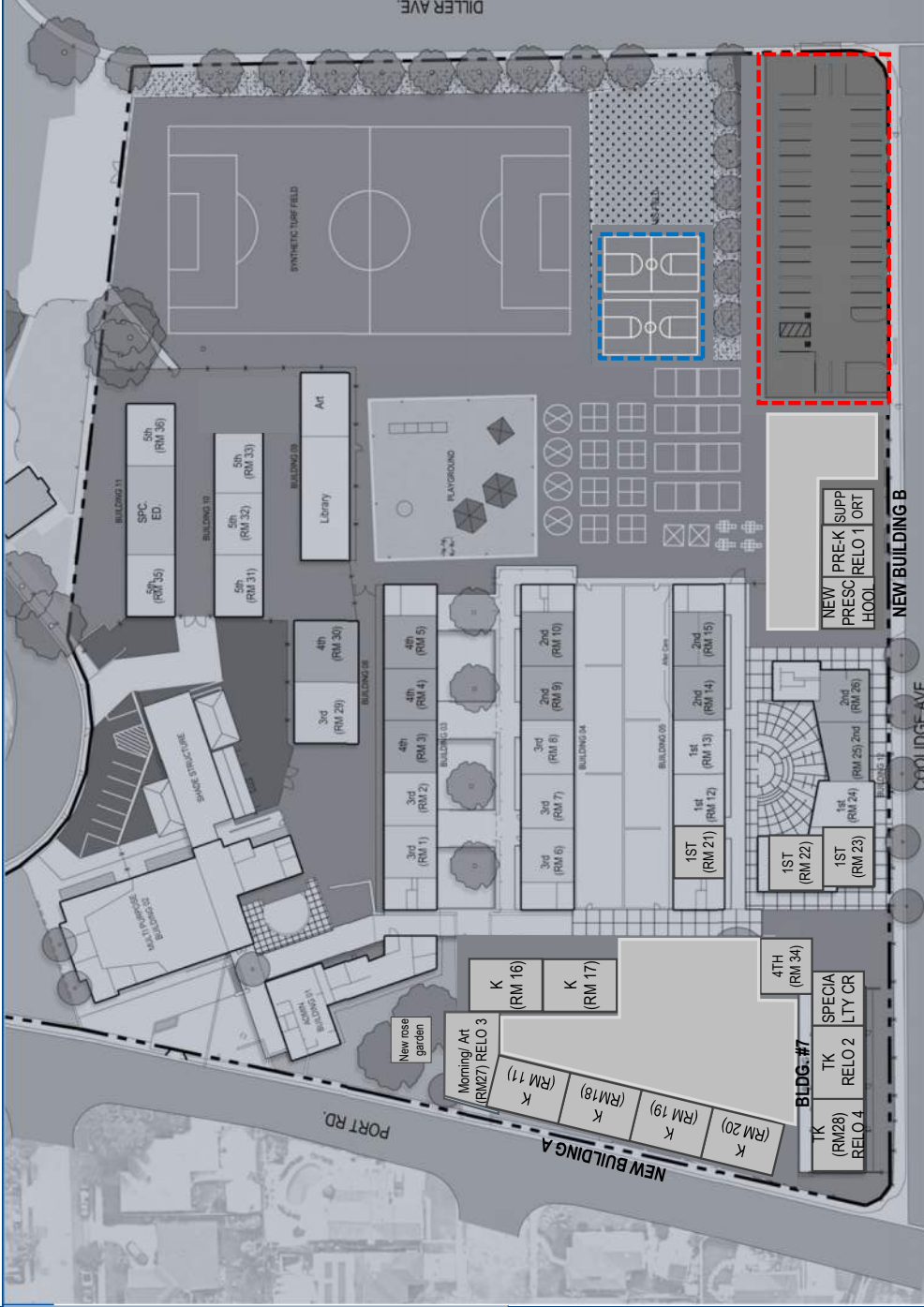


El Marino Elementary School

Step 12

	PRE-SCHOOL
	TK
	KINDER
	1ST GRADE
	2ND GRADE
	3RD GRADE
	4TH GRADE
	5TH GRADE
	SPC. ED
	ART

- Relocate (2) basketball courts
- Extend the parking lot (32 stalls)



The site plan for New Building A includes the following features:

- Buildings and Rooms:**
 - Bldg. #7:** TK (RM 28), RELO 4; TK (RM 20), K (RM 19); K (RM 18), K (RM 16); Morning/Art (RM 27) RELO 3.
 - Bldg. #8:** 4TH (RM 34), SPECIA LTY CR.
 - Bldg. #9:** 1ST (RM 23), 1ST (RM 24), 2nd (RM 25), 2nd (RM 26).
 - Bldg. #10:** 1st (RM 21), 1st (RM 12), 2nd (RM 13), 2nd (RM 14), 2nd (RM 15).
 - Bldg. #11:** 3rd (RM 6), 3rd (RM 7), 3rd (RM 9), 2nd (RM 10).
 - Bldg. #12:** 3rd (RM 1), 3rd (RM 2), 4th (RM 3), 4th (RM 4), 4th (RM 5).
 - Bldg. #13:** 3rd (RM 29), 4th (RM 30).
 - Bldg. #14:** Library, Art.
 - Bldg. #15:** 5th (RM 31), 5th (RM 32), 5th (RM 33).
 - Bldg. #16:** 5th (RM 35), SPC ED., 5th (RM 36).
- Other Structures:** SHADE STRUCTURE, MAIN ENTRANCE BUILDING, NEW ROSE GARDEN.
- Outdoor Areas:** PLAYGROUND, SYNTHETIC TURF FIELD, PORT RD., COOLIDGE AVE.
- New Buildings:** NEW BUILDING B, NEW BUILDING C.

[illegible]

El Marino Elementary School

Site Plan



El Marino Elementary School Completion



- PRE-SCHOOL
- TK
- KINDER
- 1ST GRADE
- 2ND GRADE
- 3RD GRADE
- 4TH GRADE
- 5TH GRADE
- SPC. ED
- ART

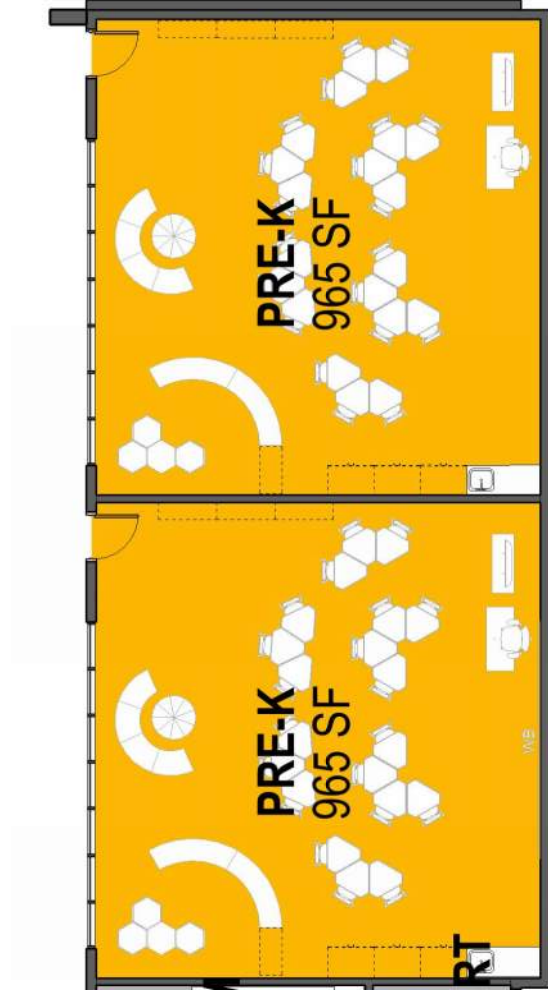
El Marino Elementary School

Site Plan



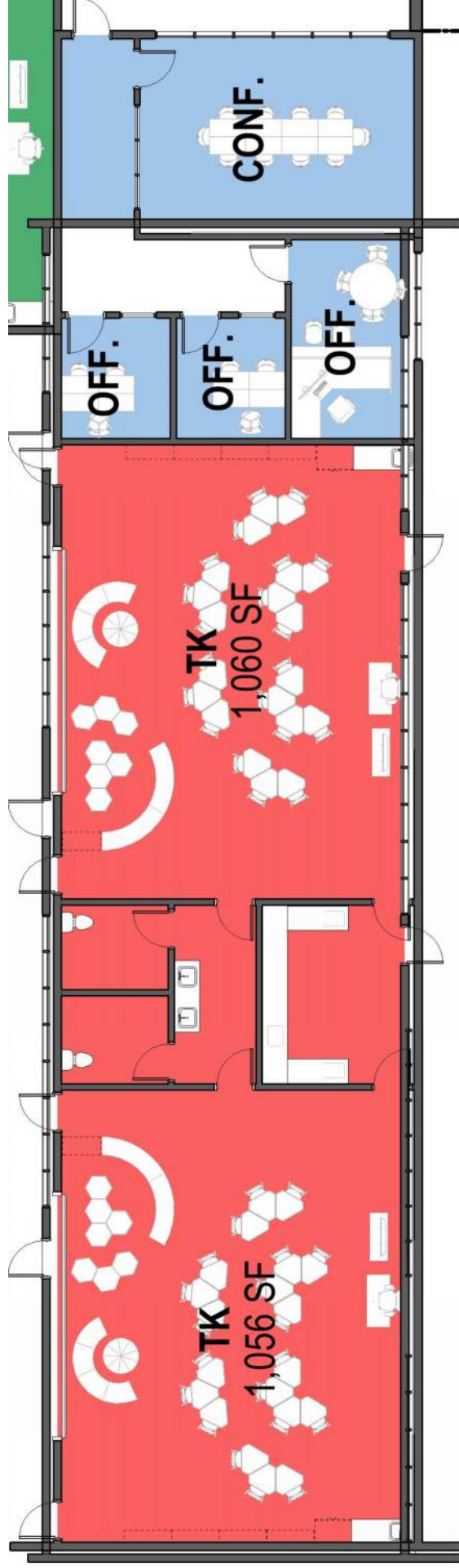
El Marino Elementary School

Layout – PRE-K Classroom



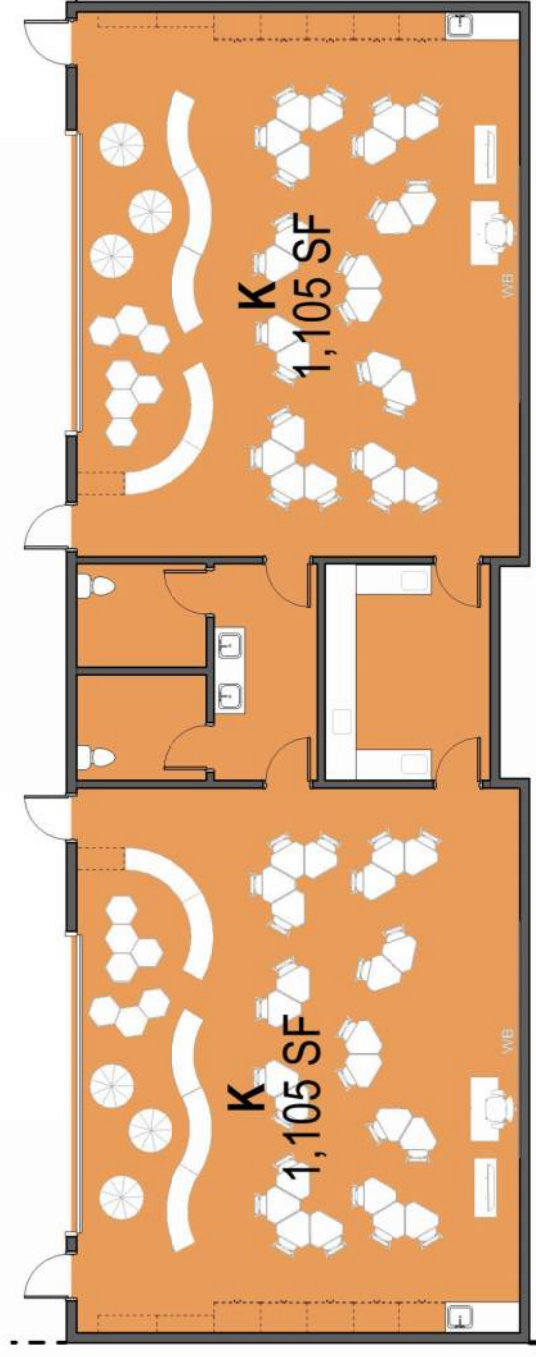
El Marino Elementary School

Layout – TK Classroom



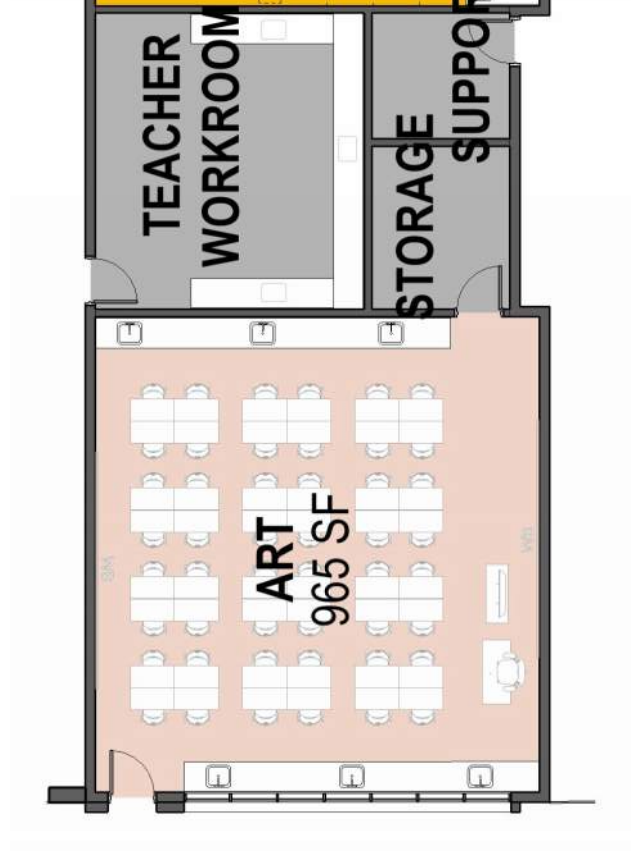
El Marino Elementary School

Layout – Kindergarten Classroom



El Marino Elementary School

Layout – Art Classroom



El Marino Elementary School Chosen Option

Massing Option A

El Marino Elementary School Massing Study (Option A)



VIEW FLYING
ABOVE THE
CORNER OF
HAYTER AVE.
AND PORT ROAD
LOOKING SOUTH

Existing View

El Marino Elementary School Massing Study (Option A)



VIEW FLYING
ABOVE
COOLIDGE AVE.
LOOKING
NORTH.

Existing View



El Marino Elementary School Massing Study (Option A)



VIEW FLYING
ABOVE
COOLIDGE AVE.
LOOKING INTO
TK/K PLAY AREA

Existing View



El Marino Elementary School Massing Study (Option A)



LOOKING
NORTH ALONG
PORT ROAD.



Existing View

El Marino Elementary School Massing Study (Option A)



NEW
KINDERGARTEN
BUILDINGS

El Marino Elementary School Massing Study (Option A)



NEW
PRESCHOOL
BUILDING

El Marino Elementary School Chosen Option

Massing Option B

El Marino Elementary School Massing Study (Option A)



VIEW FLYING
ABOVE THE
CORNER OF
HAYTER AVE.
AND PORT ROAD
LOOKING SOUTH

Existing View



El Marino Elementary School Massing Study (Option A)



VIEW FLYING
ABOVE
COOLIDGE AVE.
LOOKING
NORTH.

Existing View



El Marino Elementary School Massing Study (Option A)



VIEW FLYING
ABOVE
COOLIDGE AVE.
LOOKING INTO
TK/K PLAY AREA

Existing View



El Marino Elementary School Massing Study (Option A)



LOOKING
NORTH ALONG
PORT ROAD.



El Marino Elementary School Massing Study (Option A)



NEW
KINDERGARTEN
BUILDINGS

El Marino Elementary School Massing Study (Option A)



NEW
PRESCHOOL
BUILDING

El Marino Elementary School

■

Massing Study (Option B)

El Marino Elementary School Massing Study (Option B)



VIEW FLYING
ABOVE THE
CORNER OF
HAYTER AVE.
AND PORT ROAD
LOOKING SOUTH

Existing View



El Marino Elementary School Massing Study (Option B)



VIEW FLYING
ABOVE
COOLIDGE AVE.
LOOKING
NORTH.

Existing View



El Marino Elementary School Massing Study (Option B)



VIEW FLYING
ABOVE
COOLIDGE AVE.
LOOKING INTO
TK/K PLAY AREA

Existing View

El Marino Elementary School Massing Study (Option B)



LOOKING
NORTH ALONG
PORT ROAD.

Existing View



El Marino Elementary School Massing Study (Option B)



NEW
KINDERGARTEN
BUILDINGS

El Marino Elementary School Massing Study (Option B)



NEW
PRESCHOOL
BUILDING

El Marino Elementary School

■

Massing Study (Option C)

El Marino Elementary School Massing Study (Option C)



VIEW FLYING
ABOVE THE
CORNER OF
HAYTER AVE.
AND PORT ROAD
LOOKING SOUTH

Existing View



El Marino Elementary School Massing Study (Option C)



VIEW FLYING
ABOVE
COOLIDGE AVE.
LOOKING
NORTH.

Existing View



El Marino Elementary School Massing Study (Option C)



VIEW FLYING
ABOVE
COOLIDGE AVE.
LOOKING INTO
TK/K PLAY AREA

Existing View

El Marino Elementary School

Complex Plan Options: Massing Study (Opt 3)



LOOKING
NORTH ALONG
PORT ROAD.



El Marino Elementary School Massing Study (Option C)



NEW
KINDERGARTEN
BUILDINGS

El Marino Elementary School Massing Study (Option C)



NEW
PRESCHOOL
BUILDING

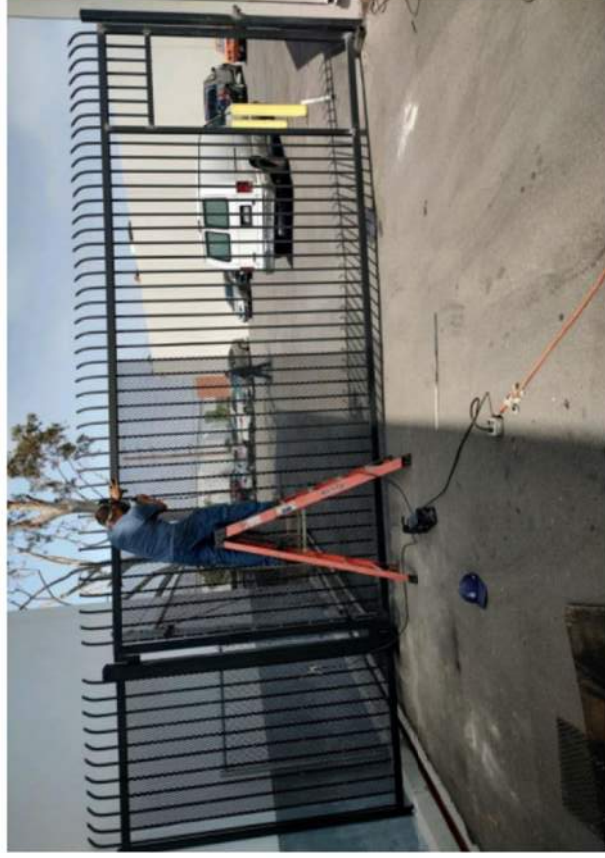
El Marino Elementary School

Thank you !

El Marino Elementary School Quick Start Projects



El Marino Elementary School Quick Start Projects



IRON ORNAMENTAL FENCING WITH WELDED MESH BACKING
(THIS IS THE STYLE WE'VE RECEIVED QUOTES FOR)



El Marino Elementary School Quick Start Projects

Regular chain link fence



REGULAR CHAIN LINK FENCING (MY FINGERS COMPARED TO THE DIAMOND SIZE)

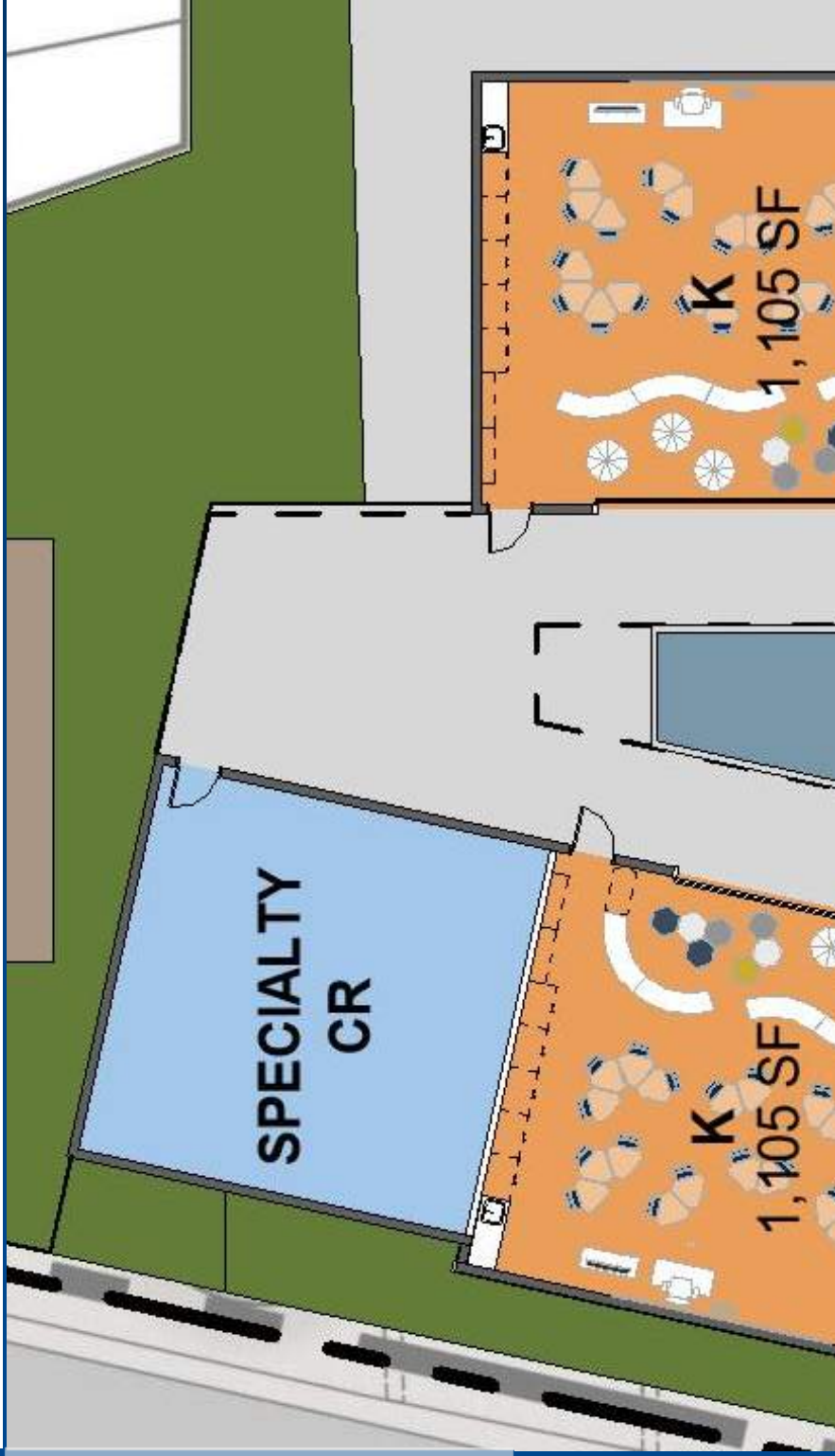
Anti-climbing fence



ANTI-CLIMB CHAIN LINK FENCING (MY FINGERS COMPARED TO THE DIAMOND :)



El Marino Elementary School Site Plan







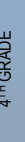
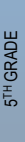
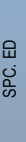
 PRE-SCHOOL	 TK	 KINDER	 1 ST GRADE	 2 ND GRADE	 3 RD GRADE	 4 TH GRADE	 5 TH GRADE	 SPC. ED	 ART
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El Marino Elementary School Specialty Classroom

	PRE-SCHOOL
	TK
	KINDER
	1 ST GRADE
	2 ND GRADE
	3 RD GRADE
	4 TH GRADE
	5 TH GRADE
	SPC. ED
	ART



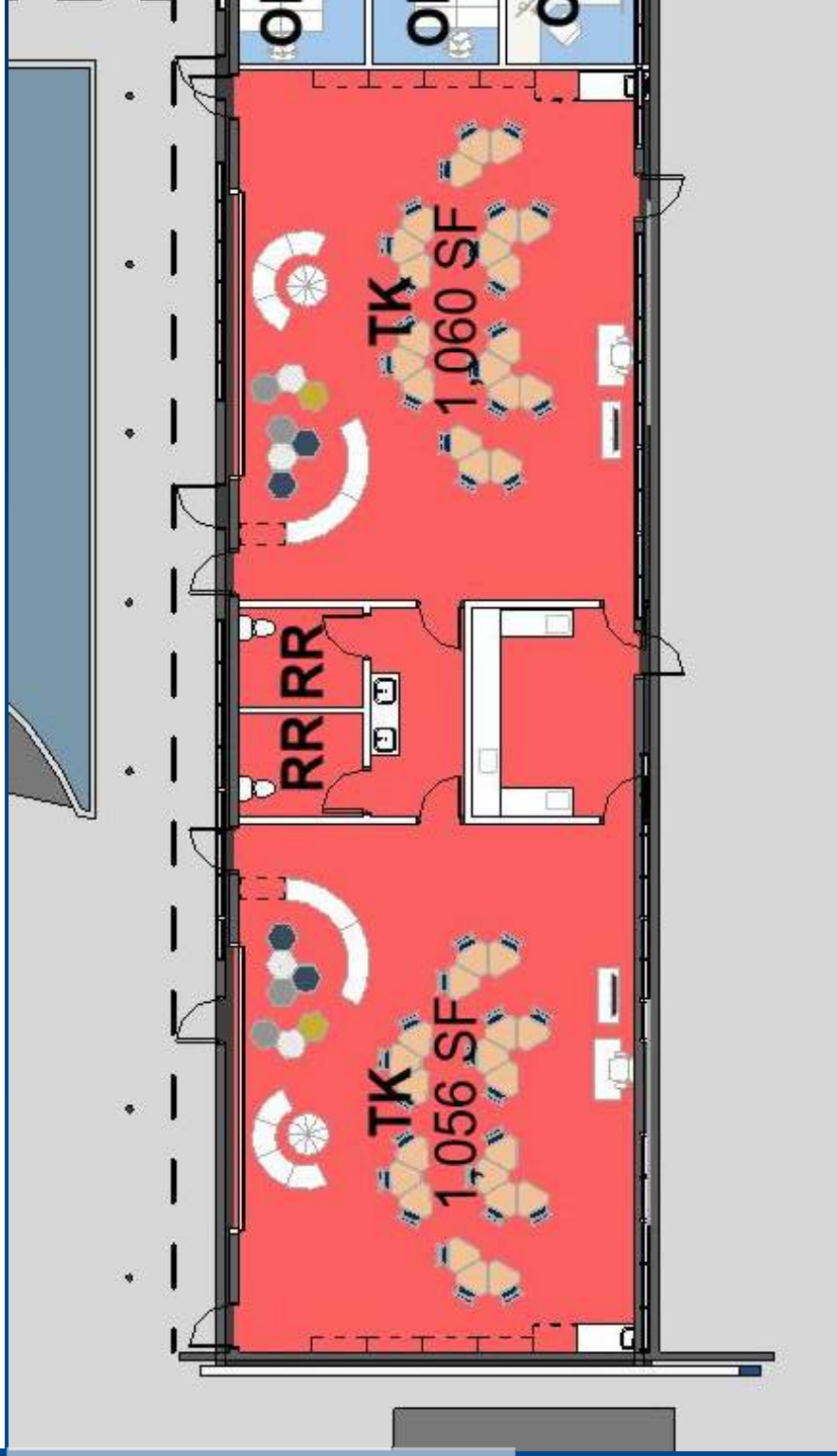
El Marino Elementary School Specialty Classroom

	PRE-SCHOOL
	TK
	KINDER
	1 ST GRADE
	2 ND GRADE
	3 RD GRADE
	4 TH GRADE
	5 TH GRADE
	SPC. ED
	ART



El Marino Elementary School

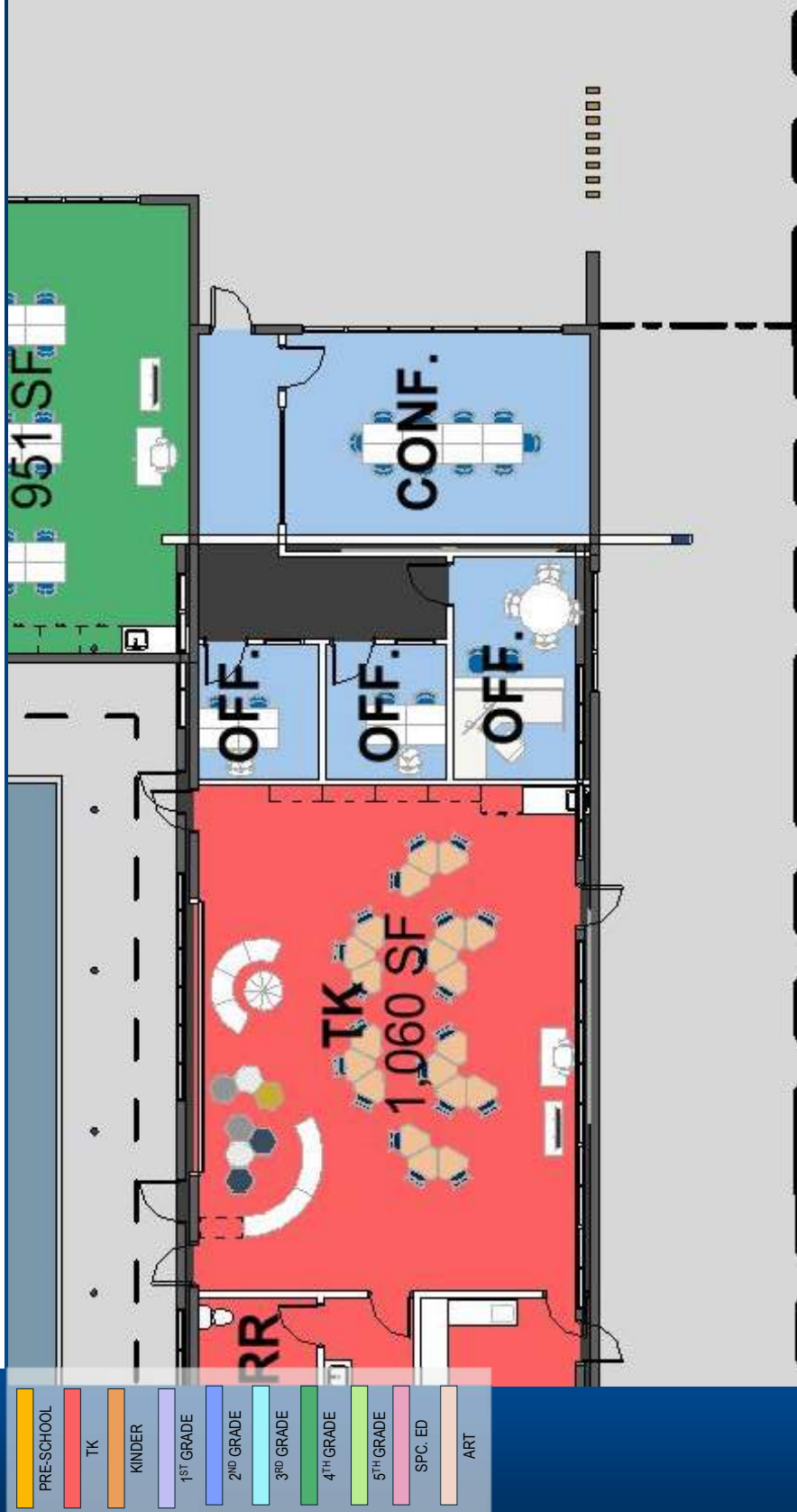
Site Plan



- PRE-SCHOOL
- TK
- KINDER
- 1ST GRADE
- 2ND GRADE
- 3RD GRADE
- 4TH GRADE
- 5TH GRADE
- SPC. ED
- ART

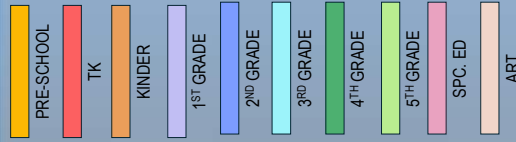
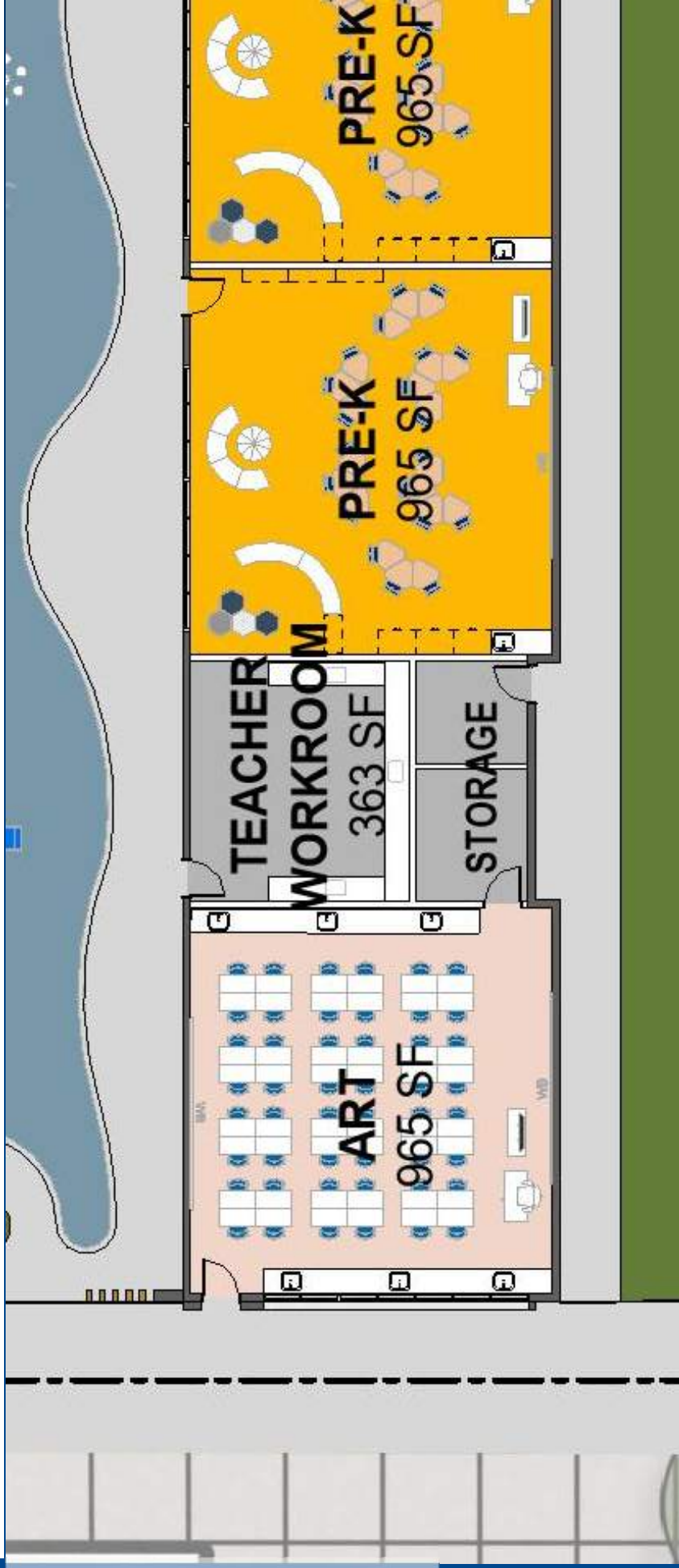
El Marino Elementary School

Site Plan



El Marino Elementary School

Site Plan



Project Meeting Report



tBP/Architecture
4611 Teller Avenue
Newport Beach, CA 92660

Meeting Date: 1/15/2025 (Updates noted in ***bold italics***)

Project: El Marino Language School
Culver City Unified School District

Present: Santha Rajiv	-	CCUSD
Preeti Dsouza	-	Telacu
Karin Lopez		Telacu
Ilona Gergi		OCD Director
Paul Karaiakoubian		El Marino Principal
Monica Bell	-	El Marino Teacher
Tomoko Miyawaki	-	El Marino Teacher
Alice Horiba	-	El Marino Teacher
Brent Knapp	-	Parent (on committee)
Brad Thompson		Parent (on committee)
Marc Bauer		Parent
Gary Moon	-	tBP/Architecture
Bob Demmond	-	tBP/Architecture

PURPOSE OF THE MEETING

Project Update, Presentation of Master Plan – Option A and B.

DISCUSSION

1. Presentation:
 - a. Discussed programming objectives.
 1. Concern: Green space/shade—old growth trees a priority for site.
 - ***Need to conduct tree survey with arborist to determine health of existing trees.***
 2. Concern: Rose garden important to site.
 - ***Propose to relocate rose garden next to TK building along Coolidge Avenue.***
 3. Concern: Edible garden important to site.
 - ***Propose to relocate edible garden next to Admin building.***
 - b. Phasing reviewed.
 1. Classroom count: 28 (***overall 40 classrooms needed—in addition, specialist support space and counseling***).
 2. Administration modernization not included in Phase 1.
 3. ***Multi-Purpose Room (Auditorium)*** modernization not included in Phase 1.
 - ***Multi-Purpose Room (Auditorium)*** scope could be considered if Phase 1 project costs allow.

4. Project funding
 - Staff concerned with equity based on school enrollment.
 - a. Consider additional funding under Prop 2.
 - **Staff concerned with OCD scope impacting funding for school-related program needs. Staff informed that OCD scope is to be included in the project budget as OCD contributes to future school population.**
 - **Staff requested need to begin seeing estimated construction costs for the project.**
5. Art classroom:
 - Two provided (two needed).
 - **Art classrooms to be adjacent to each other to allow for resource sharing between the classrooms.**
6. Staff room
 - Needs to be a flexible space for school use.
 - Teacher meeting/conference room
7. **Specialist Rooms**
 - Speech
 - a. Space allocation for 6-8 students and 2 adults.
 - Occupational Therapy
 - a. Space allocation for 6-8 students and 2 adults.
8. Transitional-Kindergarten (TK)
 - Confirm restroom requirements
9. Classrooms 21-23
 - Resized into two **TK** classrooms for proper instructional use **(1350 sf)**.
10. Cafeteria
 - Provide water bottle filling station(s)
11. Sustainable strategies
 - Rainwater collection
 - Solar
 - Daylighting
 - Heat Island mitigation (natural shading vs shade structures)
 - a. **Evaluate coatings for asphalt paving (i.e. Streetbond).**
 - Indoor Air Quality
 - a. Indoor/Outdoor spaces at classrooms not ideal due to outdoor air quality conditions.
 - b. Operable windows not ideal for classrooms due to outdoor air quality conditions.
 - c. Evaluate existing HVAC systems and provide recommendations for enhanced air filtration within classrooms.
 - i. **tBP confirmed that MERV 13 filters are installed for air filtration within each classroom.**
- c. **Option A presented**
 1. **Preferred, however, need to confirm potential impact of existing electrical infrastructure and trees.**
- d. **Option B presented**
 1. **May be considered over Option A if existing electrical infrastructure is to remain.**

2. **Committee asked that previous options be re-evaluated by the committee for reconsideration.**
 - e. **Classroom alignment**
 1. **Committee discussed a desire to see OCD/TK/K grouped together for ease of wayfinding for students and parents.**
 - **This grouping requires adding covered walkways to existing buildings along Coolidge Avenue.**
 - **Repurpose existing buildings along Coolidge Avenue for TK and OCD.**
 2. **Consider moving 5th grade classrooms to new proposed building along Coolidge Avenue.**
 - **Allows for site area adjacent to building to be shared play area.**
 - f. **Quick-Start Projects**
 1. **Shade structures @ lunch area**
 - **Fabric life: 10-year factory warranty**
 - **Confirm over-the-counter review potential**
 - a. **Requires geotechnical/geohazard report**
 - **Consider removing parking adjacent to lunch area and creating a loading zone for kitchen deliveries.**
 - **Consider locating shade structures adjacent to existing lunch shelter canopy—between the canopy and future loading zone.**
 2. **Perimeter fencing**
 - **Consider hybrid fencing design**
 - a. **Ornamental fencing at school entrance and interior campus fencing.**
 - b. **Privacy fencing at playground perimeter**
 - i. **Anti-climb fencing preferred (i.e. Ameristar WireWorks Anti-Climb Welded Wire Fence)**
 - **Fencing must be below 8 feet in height (7'-11")**
 - a. **Ornamental fencing**
 - b. **Anti-climb fencing with privacy screening**
2. Meetings:
- a. Bi-weekly faculty/parent meeting: 2/5/25 @ 1:45pm.
 1. tBP to present further development of Options A & B.

The above notes document our understanding of items discussed in the above referenced meeting. Unless written notice to the contrary is received within 7 days, the notations will be considered correct and acceptable.

Prepared by: Bob Demmond, tBP/Architecture

DISTRIBUTION

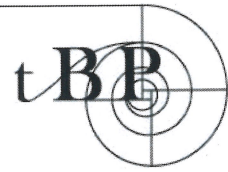
District for distribution, Design Team, File

ATTACHMENTS

Sign-In Sheet
Presentation

■ Project Meeting Attendance

tBP/Architecture
4611 Teller Avenue
Newport Beach, CA 92660



Architecture
Planning
Interiors
Management

Date: 1/15/2025

Project: El Marino Language School

Meeting:

Attendees:

Name	Organization/ Title/ Department
------	---------------------------------

Brad Thompson	Parent
Brent Knapp	Parent
Santha Raju	CCUSD
KARIN LOPEZ	TELACU
PREETI DSOUZA	TELACU.
ALICE HORIBA	Teacher
Tomoko Miyawaki	Teacher
Monica Bell	Teacher
Ilona Gergi	UCD
Paul Karaiakoubian	EM
Marc Bauer	Parent



**Architectural Services for
Measure E Projects
El Marino Elementary School
Programming Meeting #5
January 15, 2024**

“Success for All... Takes us All!”



El Marino Elementary School

Previous Meeting

1. Presentation:
 - a. Discussed programming objectives.
 1. Concern: **Green space/shade—old growth trees a priority for site.**
 2. Concern: **Rose garden important to site.**
 - b. Phasing reviewed.
 1. Classroom count: 28
 2. Administration modernization not included in Phase 1.
 3. Auditorium modernization not included in Phase 1.
 - Auditorium scope could be considered if Phase 1 project costs allow.
 4. Project funding
 - Faculty concerned with equity based on school enrollment.
 - a. Consider additional funding under Prop 2.
 5. **Art classrooms**
 - **Two provided (two needed).**
 6. **Faculty room**
 - Needs to be a flexible space for school use.
 - Teacher meeting/conference room
 7. **Specialty classrooms**
 - **Speech**
 - a. **Space allocation for 6-8 students and 2 adults.**
 - **Occupational Therapy**
 - a. **Space allocation for 6-8 students and 2 adults**

8. Pre-Kindergarten
 - Confirm restroom requirements - 1
9. Classrooms 21-23
 - Resized into two classrooms for proper instructional use.
10. Cafeteria
 - Provide water bottle filling station(s)
11. Sustainable strategies
 - Rainwater collection
 - Solar
 - Daylighting
 - Heat Island mitigation (natural shading vs shade structures)
 - Indoor Air Quality
 - a. **Indoor/Outdoor spaces at classrooms not ideal due to outdoor air quality conditions.**
 - b. **Operable windows not ideal for classrooms due to outdoor air quality conditions.**
 - c. Evaluate existing HVAC systems and provide recommendations for enhanced air filtration within classrooms.
- c. **40 classrooms needed for site**
- d. **2 specialty classrooms needed for site**
1. Meetings:
 - a. Bi-weekly faculty/parent meeting: 1/15/25 @ 1:45pm.
 1. tBP to present further development of Option B.

El Marino Elementary School

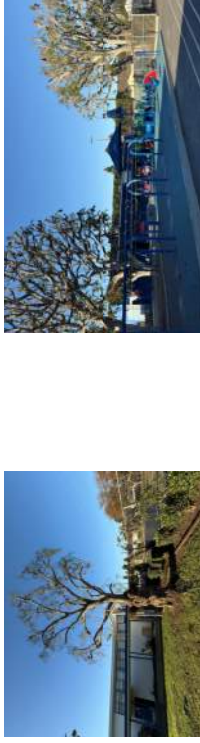
CAMPUS PLAN – PREVIOUS MEETING

- OCD
- TK
- KINDER
- 1ST GRADE
- 2ND GRADE
- 3RD GRADE
- 4TH GRADE
- 5TH GRADE
- SPC. ED
- ART



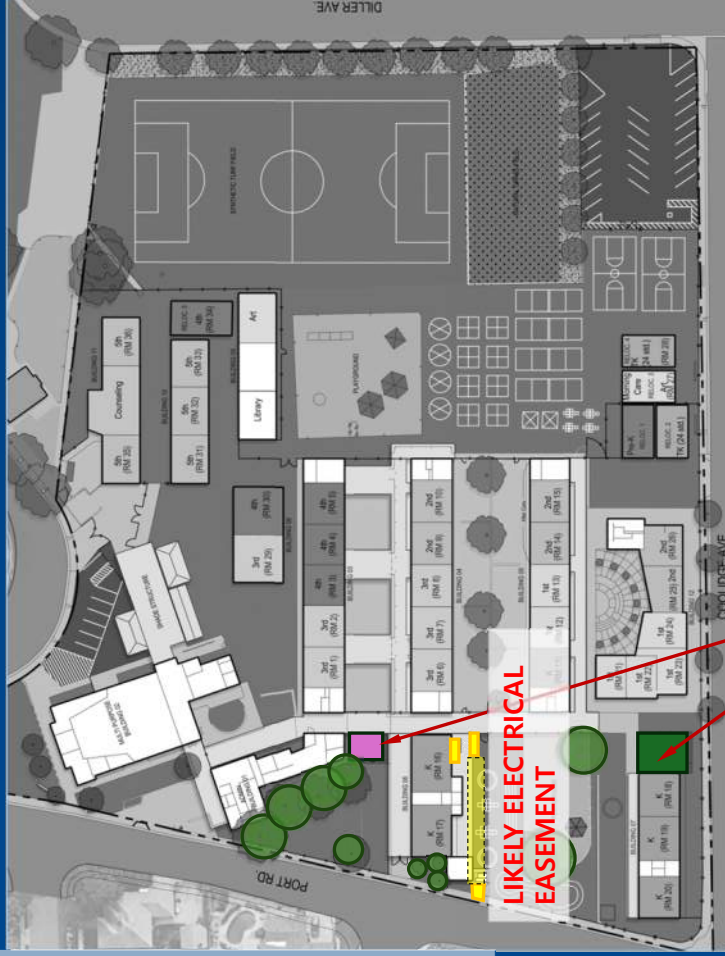
El Marino Elementary School

Constraints



	OCD
	TK
	KINDER
	1ST GRADE
	2ND GRADE
	3RD GRADE
	4TH GRADE
	5TH GRADE
	SPC. ED
	ART

EXISTING CAMPUS PLAN



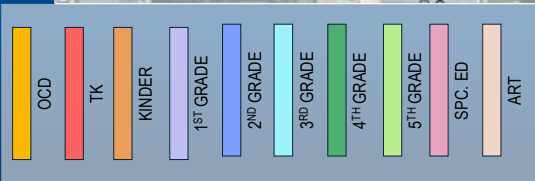
Rose Garden – approx. 600 sf
Food Garden – approx. 1,000 sf

FUTURE



Chosen scheme challenges:
Tree locations, potential
electrical easement

OCD



El Marino Elementary School

CAMPUS PLAN – UPDATED AERIAL SE



El Marino Elementary School

CAMPUS PLAN – UPDATED AERIAL SW



El Marino Elementary School

Outdoor Facility Recommendation for Preschool & Kindergarten

CURRENT PLAN OPTION A



Grade	2023-24 Enrollment	Number of student that site licensed	Number of students per Classroom	Total Number of Classrooms for the future
PRE-SCHOOL	20	34	1:20	2
TK	20		1:20	2
K	133		1:24	6

Recommended Outdoor Facility Space 75sf per child

NEW CLASSROOM BUILDING A
(6) K * 24 students = 144 children
EXISTING BUILDING #7
(2) TK * 20 students = 40 children
184 children
184 children * 75 sf = **13,616 sf**

NEW CLASSROOM BUILDING B
(2) Pre-School * 20 students = **40 children**
40 children * 75 sf = **3,000 sf**

EXISTING PLAN











EXISTING CAMPUS PLAN



El Marino Elementary School

CAMPUS PLAN OPTION B

Still like Option A but if we cant do Option A, then this option is OK with program changes.











	OCD
	TK
	KINDER
	1ST GRADE
	2ND GRADE
	3RD GRADE
	4TH GRADE
	5TH GRADE
	SPC. ED
	ART



El Marino Elementary School

CAMPUS PLAN OPTION B

Still like Option A but if we cant do Option A, then this option is OK with program changes see below.

	OCD
	TK
	KINDER
	1ST GRADE
	2ND GRADE
	3RD GRADE
	4TH GRADE
	5TH GRADE
	SPC. ED
	ART



RENOVATE EX. BLDG #6
(2)OCD
TEACHER WORKSPACES

NEW BUILDING
(1) 4TH CR
(1) ART CR
(1) SPEECH
(1) OCCUPATIONAL

RENOVATE EX. BLDG #7
(2)T-K
TEACHER OFFICES

NEW BUILDING
(6) KINDER

10,256 sf

14,640 sf

10,256 sf

El Marino Elementary School

CAMPUS PLAN OPT B – UPDATED AERIAL SE

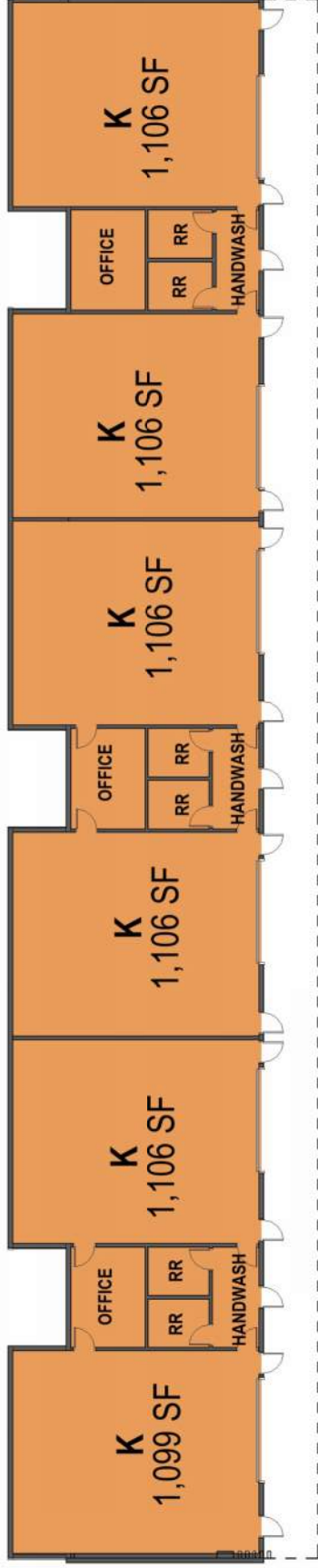


El Marino Elementary School

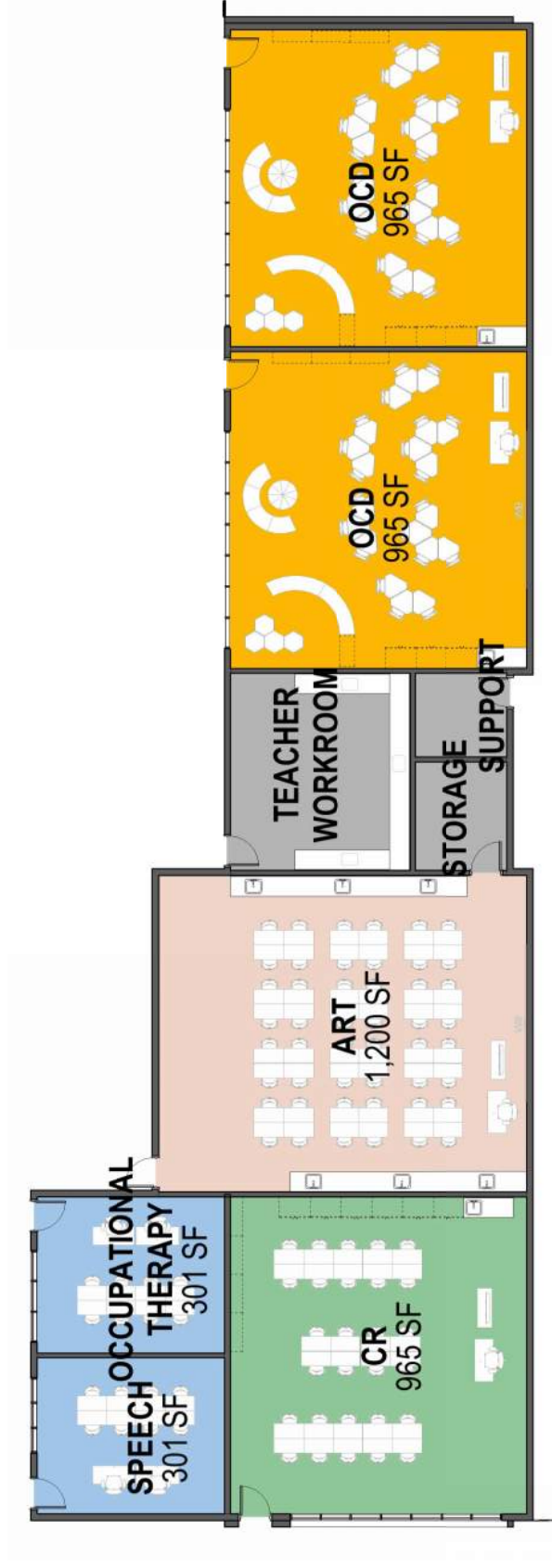
CAMPUS PLAN OPT B – UPDATED AERIAL SW



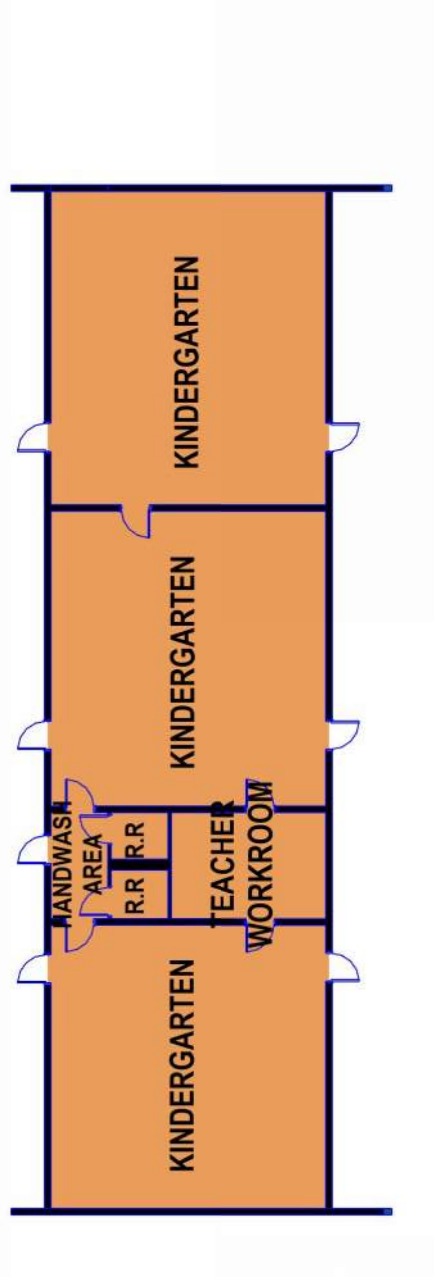
El Marino Elementary School New Building A



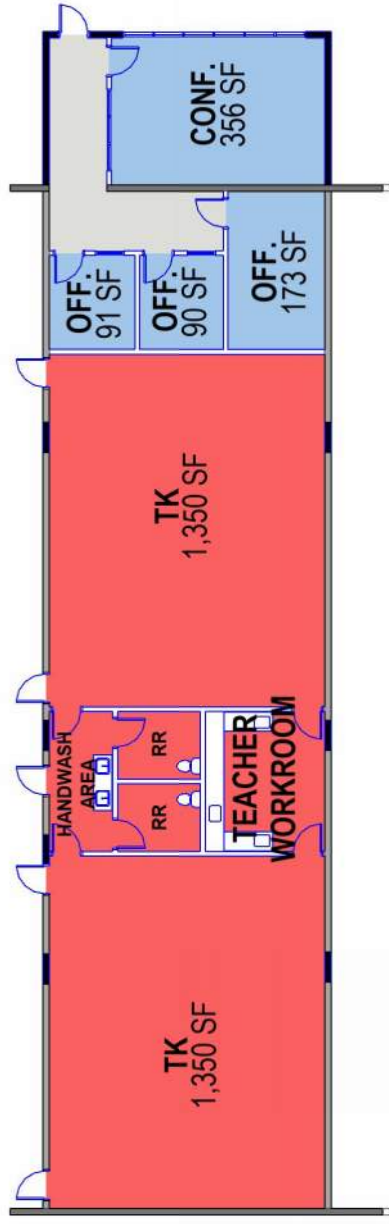
El Marino Elementary School New Building B



El Marino Elementary School Existing Building #7 – Modernization

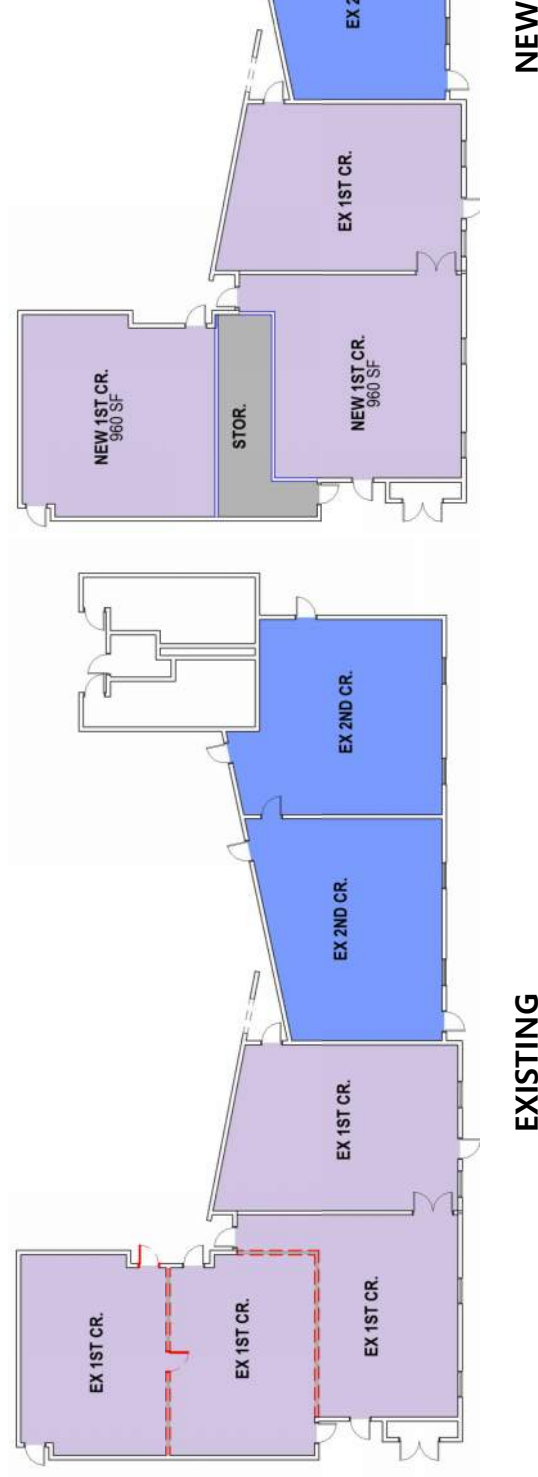


EXISTING



NEW

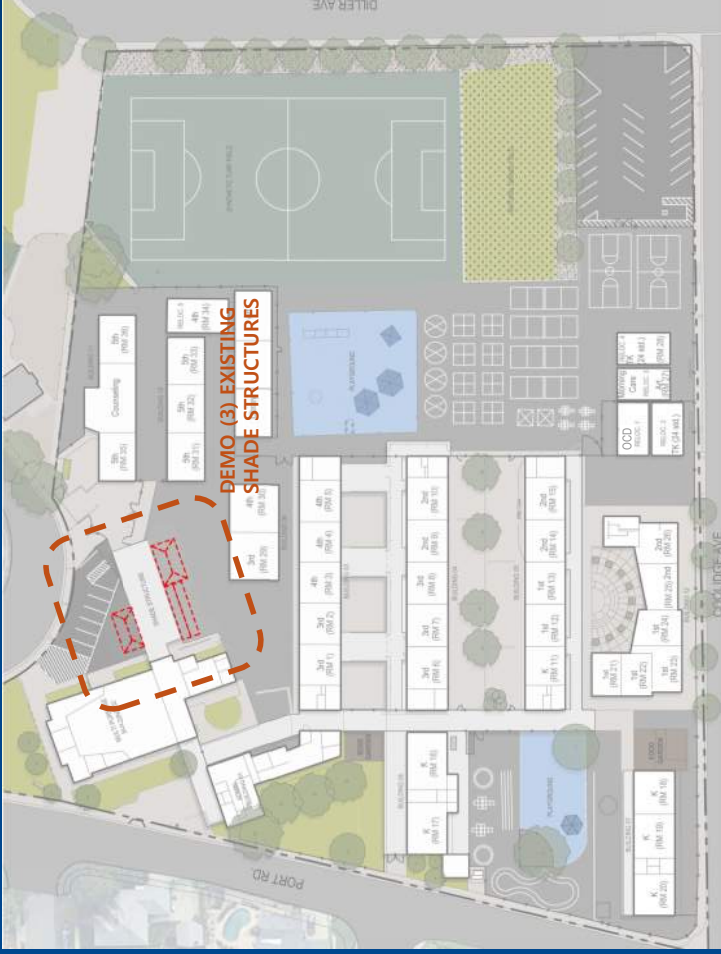
El Marino Elementary School Existing Building #12 – Modernization



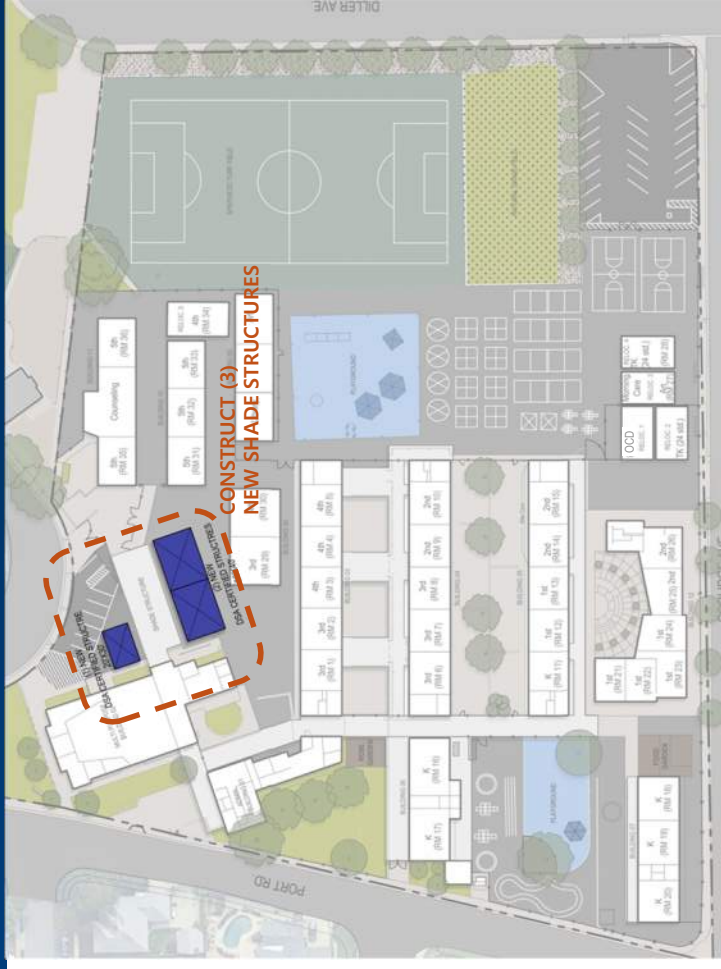
El Marino Elementary School

Quick Start Project - Shade Structures (Opt 1)

DEMO EXISTING SHADE STRUCTURES

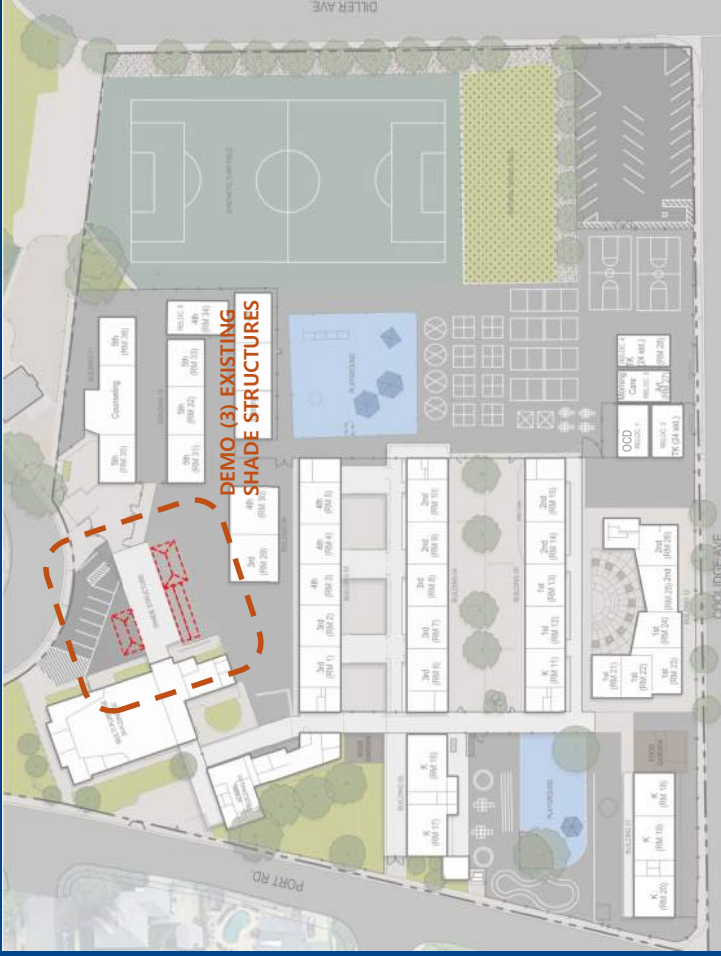


NEW DSA CERTIFIED SHADE STRUCTURES

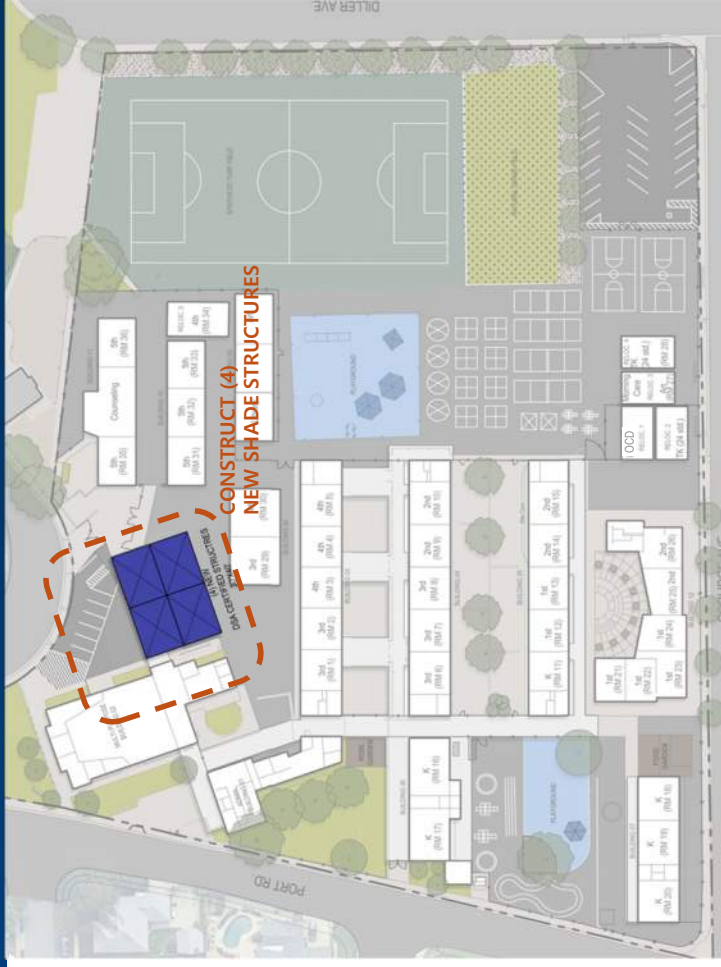


El Marino Elementary School Quick Start Project - Shade Structures (Opt 2)

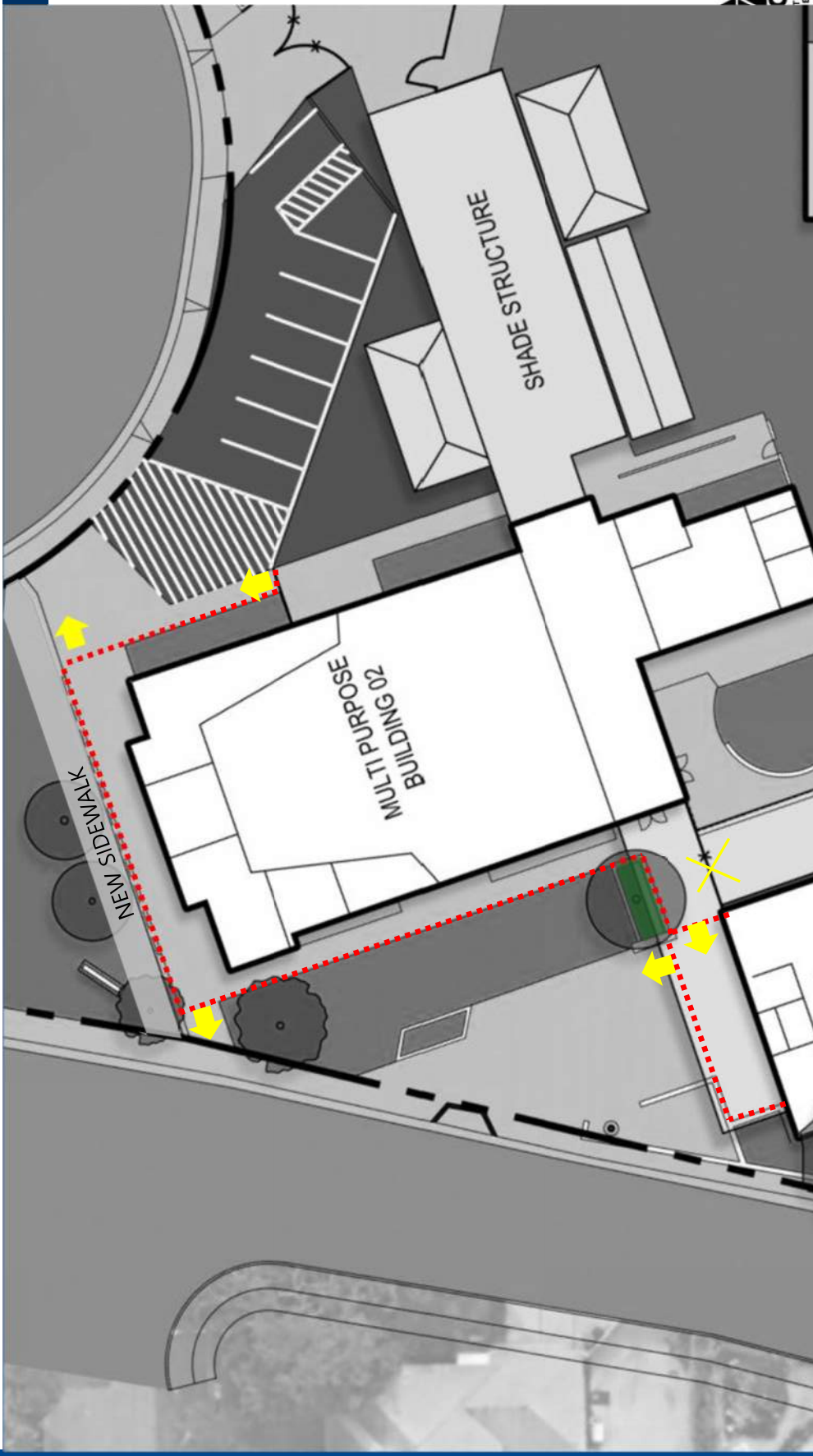
DEMO EXISTING SHADE STRUCTURES



NEW DSA CERTIFIED SHADE STRUCTURES



El Marino Elementary School Quick Start Project – Secure entry fencing



El Marino Elementary School

Quick Start Project – Secure entry fencing



El Marino Elementary School

Thank you !

Project Meeting Report



tBP/Architecture
4611 Teller Avenue
Newport Beach, CA 92660

Meeting Date: 2/5/2025 (Updates noted in ***bold italics***)

Project: El Marino Language School
Culver City Unified School District
Programming Meeting #6

Present: Santha Rajiv	-	CCUSD
Dana Miller		CCUSD-DMOT
Preeti D'Souza	-	Telacu
Stephany Chavez		Telacu
Ilona Gergi		OCD Director
Paul Karaiakoubian		El Marino Principal
Monica Bell	-	El Marino Teacher
Tomoko Miyawaki	-	El Marino Teacher
Alice Horiba	-	El Marino Teacher
Myrna Martinez		El Marino Teacher
Brent Knapp	-	Parent (on committee)
Brad Thompson		Parent (on committee)
Marc Bauer		Parent
Hung Cheng		tBP/Architecture
Gary Moon	-	tBP/Architecture
Bob Demmond	-	tBP/Architecture

PURPOSE OF THE MEETING

Project Update, Presentation of Master Plan – Option A and B.

DISCUSSION

1. Presentation:
 - a. Discussed programming objectives.
 1. Concern: Green space/shade—old growth trees a priority for site.
 - Need to conduct tree survey with arborist to determine health of existing trees.
 2. Concern: Rose garden important to site.
 - Propose to relocate rose garden next to TK building along Coolidge Avenue.
 3. Concern: Edible garden important to site.
 - Propose to relocate edible garden next to Admin building.
 - b. Phasing reviewed.
 1. Classroom count: 28 (overall 40 classrooms needed—in addition, specialist support space and counseling).

2. Administration modernization not included in Phase 1.
3. Multi-Purpose Room (Auditorium) modernization not included in Phase 1.
 - Multi-Purpose Room (Auditorium) scope could be considered if Phase 1 project costs allow.
4. Project funding
 - Staff concerned with equity based on school enrollment.
 - a. Consider additional funding under Prop 2.
 - Staff concerned with OCD scope impacting funding for school-related program needs. Staff informed that OCD scope is to be included in the project budget as OCD contributes to future school population.
 - Staff requested need to begin seeing estimated construction costs for the project.
5. Art classroom:
 - Two provided (two needed).
 - Art classrooms to be adjacent to each other to allow for resource sharing between the classrooms.
 - **Adapt art rooms for STEM activities. Art rooms are to be known as “Art & Innovation” classrooms.**
6. Staff room
 - Needs to be a flexible space for school use.
 - Teacher meeting/conference room
7. Specialist Rooms
 - Speech
 - a. Space allocation for 6-8 students and 2 adults.
 - Occupational Therapy
 - a. Space allocation for 6-8 students and 2 adults.
8. Transitional-Kindergarten (TK)
 - Confirm restroom requirements
 - **Enrollment requires 2 classrooms, future need for one additional classroom.**
9. Classrooms 21-23
 - Resized into two TK classrooms for proper instructional use (1350 sf).
10. Cafeteria
 - Provide water bottle filling station(s)
11. Sustainable strategies
 - Rainwater collection
 - Solar
 - Daylighting
 - Heat Island mitigation (natural shading vs shade structures)
 - a. Evaluate coatings for asphalt paving (i.e. Streetbond).
 - Indoor Air Quality
 - a. Indoor/Outdoor spaces at classrooms not ideal due to outdoor air quality conditions.
 - b. Operable windows not ideal for classrooms due to outdoor air quality conditions.
 - c. Evaluate existing HVAC systems and provide recommendations for enhanced air filtration within classrooms.

- i. tBP confirmed that MERV 13 filters are installed for air filtration within each classroom.

12. **OCD (Office of Child Development)**

- **Enrollment: 24 children = 1 classroom**
 - a. **NOTE: Site license allows for up to 30 children. Size OCD room for 30 children (1200 sf).**

13. **Special Education**

- **Needs a dedicated room with restroom.**

14. **Music Room**

- **Teachers indicated that the campus needs a room—at a minimum, a flex space—that will allow for the music teacher to plan curriculum and allow for student interaction.**
- **Evaluate space originally allocated to OCD.**

c. Option A presented

- 1. Preferred, however, need to confirm potential impact of existing electrical infrastructure and trees.

d. Option B presented

- 1. May be considered over Option A if existing electrical infrastructure is to remain.
- 2. Committee asked that previous options be re-evaluated by the committee for reconsideration.

e. Classroom alignment

- 1. Committee discussed a desire to see OCD/TK/K grouped together for ease of wayfinding for students and parents.
 - This grouping requires adding covered walkways to existing buildings along Coolidge Avenue.
 - Repurpose existing buildings along Coolidge Avenue for TK and OCD.
 - a. **Need to modernize the existing restrooms for ages 9-12.**
- 2. Consider moving 5th grade classrooms to new proposed building along Coolidge Avenue.
 - Allows for site area adjacent to building to be shared play area.
 - **Add single-use restroom for teachers and staff.**

f. Quick-Start Projects

- 1. Shade structures @ lunch area
 - Fabric life: 10-year factory warranty
 - Confirm over-the-counter review potential
 - a. Requires geotechnical/geohazard report
 - Consider removing parking adjacent to lunch area and creating a loading zone for kitchen deliveries.
 - Consider locating shade structures adjacent to existing lunch shelter canopy—between the canopy and future loading zone.
- 2. Perimeter fencing
 - Consider hybrid fencing design
 - a. Ornamental fencing at school entrance and interior campus fencing.
 - i. **Ornamental fencing at school entrance needs to project a welcoming aesthetic—consider custom wrought iron or perforated panel fencing with a design element depicting the school's identity**

- b. Privacy fencing at playground perimeter
 - i. Anti-climb fencing preferred (i.e. Ameristar WireWorks Anti-Climb Welded Wire Fence)
- Fencing must be below 8 feet in height (7'-11")
 - a. Ornamental fencing
 - b. Anti-climb fencing with privacy screening

2. Action Items:

- a. ***Programming phase completed. Schematic design phase to start once budget reconciliation is completed and approved by District.***

3. Meetings:

- a. ***Next meeting to be scheduled by Telacu once budget reconciliation is completed with District.***

The above notes document our understanding of items discussed in the above referenced meeting. Unless written notice to the contrary is received within 7 days, the notations will be considered correct and acceptable.

Prepared by: Bob Demmond, tBP/Architecture

DISTRIBUTION

District for distribution, Design Team, File

ATTACHMENTS

Sign-In Sheet

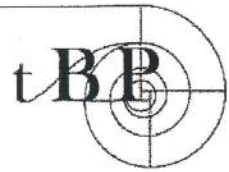
Presentation

Project Meeting Attendance

tBP/Architecture

4611 Teller Avenue

Newport Beach, CA 92660



Architecture
Planning
Interiors
Management

Date: 2/5/25

Project: EL MARINO

Meeting: PROGRAMMING #6

Attendees:

Name Organization/ Title/ Department

Tomoko Miyawaki	El Marino - teacher
Brad Thompson	Parent
JANA L Miller	CCUSD IDMOJ
Brent Kagg	Parent
PREETI D'SOUZA	TELACU
Stephany Chavez	TELACU
Hunk Chen	tBP
Bob Penworth	tBP
GARY Moon	tBP
Marc Bauer	Parent
Ilona Gergi	CCD
Myrna Martinez	Teacher
Wmilla Bell	Teacher
Alice Horiba	Teacher
Santha Rajiv	CCUSD



**Architectural Services for
Measure E Projects
El Marino Language school
Programming Meeting #6
February 5, 2024**

“Success for All... Takes us All!”



El Marino Language School Agenda

Final Programming

1. Enrollment & Required Classrooms
2. Scope of Work
3. Grade level play areas

Schematic Design

1. Previous notes/plans
2. Floor Plans updates
3. Roof plan option
4. Massing updates

El Marino Language School Agenda

FINAL PROGRAMMING

El Marino Language School

Enrollment and Classrooms

Add in new column to include
2024-2025 enrollment

EL MARINO Language School									
Grade	2023-24 Enrollment	Number of students per licensed Classroom	Number of students per Classroom	Total Number of Classrooms required per Enrollment and Site License	Number of Existing Classrooms	Number of additional Classrooms needed based on Enrollment and Site License	Total Number of Classrooms for the future	Notes	Total student capacity in classrooms
OCD		34 24	1:20 1:24	2	1	1	1	need (1) additional preschool classroom per number of student licensed	
TK	20		1:20	1	2	2	3	the school has (1) more TK classroom than required. But the school does not want to reduce the number of the classroom less than what they currently have.	40
K	133		1:24	6	6	6	6		144
Grade 1	133		1:24	6	6	6	6		144
Grade 2	136		1:24	6	6	6	6		144
Grade 3	122		1:24	6	6	6	6		144
Grade 4	118		1:28	5	5	5	5		140
Grade 5	124		1:28	5	5	5	5		140
Spec. Ed.				1	1	1	1		
Art				2	2	2	2		
	786			40	40	1	41		896

Music

*This table shows only classroom spaces

SPED

1 Request 1 to accommodate music

1 Request to accommodate SPED

Note: Any request for additional space may become incorporated into new construction. For now, plan for future expansion.

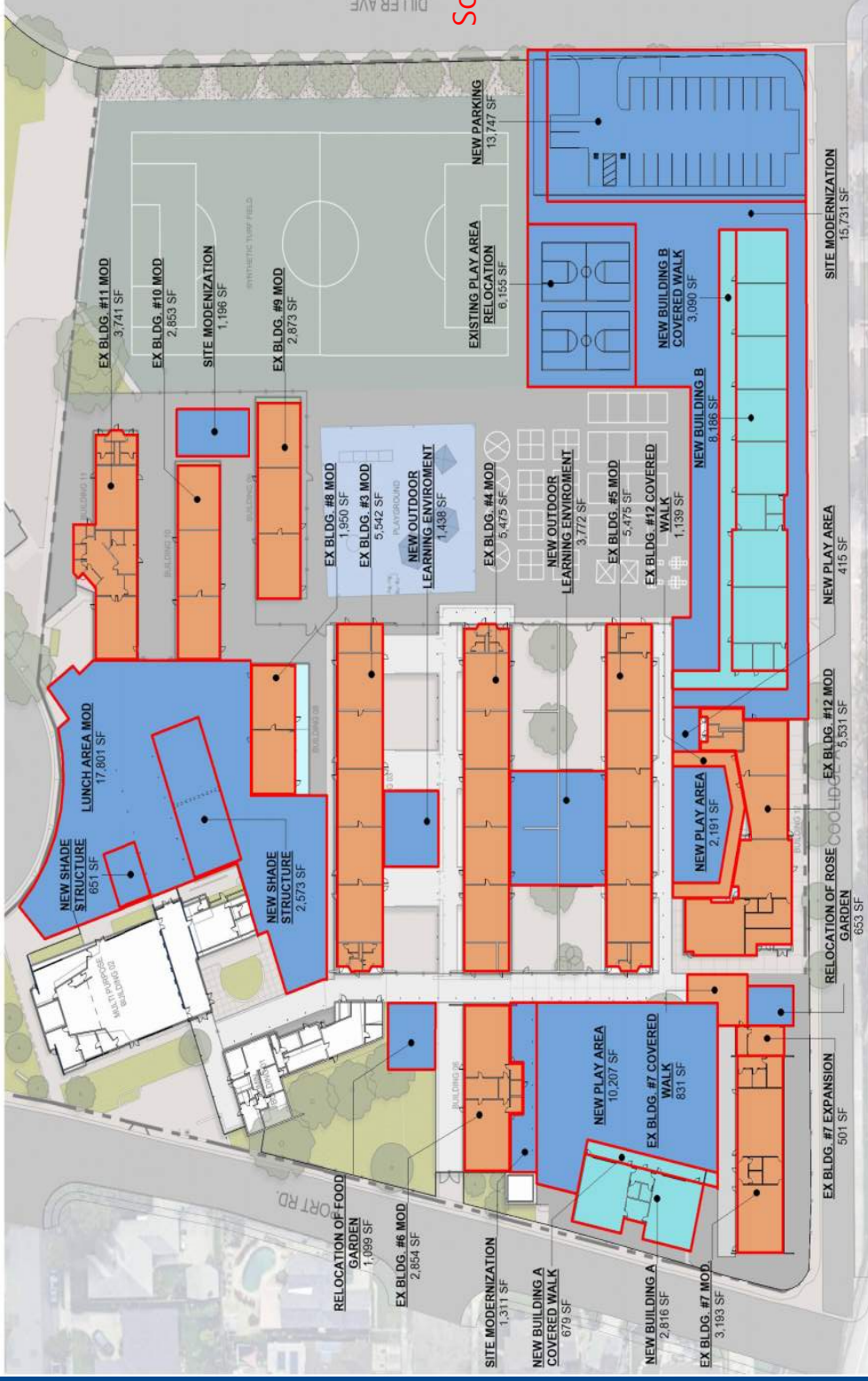


El Marino Language School Enrollment and Classrooms

OCD Enrollment per school based on license

Location	License Number	Effective Date	Total Capacity	Capacity	FY2024-45 Jan Enrollment	FY2023-24 Jan Enrollment	FY2018-19 Jan Enrollment
CEE 1, 2, 3	191670678	5/11/1994	56	20,20,16	0,15,13	8,7,10	20,20,16
CEE 7, 8	197409416	8/23/2002	40	24,16	23,10	19,0	24, 16
Farragut (CEE 5)	197411733	7/19/2004	24	24	13	14	24
Farragut (CEE6)	197413159	11/22/2005	24	24	14	13	8 + SPED children
El Marino	191609388	6/30/1993	24	24	23	18	24
El Rincon	197401919	12/6/1995	24	24	23	14	24
La Ballona	191609390	6/30/1993	64	16,24,24	14,20,10	13, 15, 16	16,22AM 24PM,21
Linwood Howe	191609392	12/6/1995	64	24,16,24	0,0,14	13, 0, 11	24,16,24

El Marino Language School Project Scope



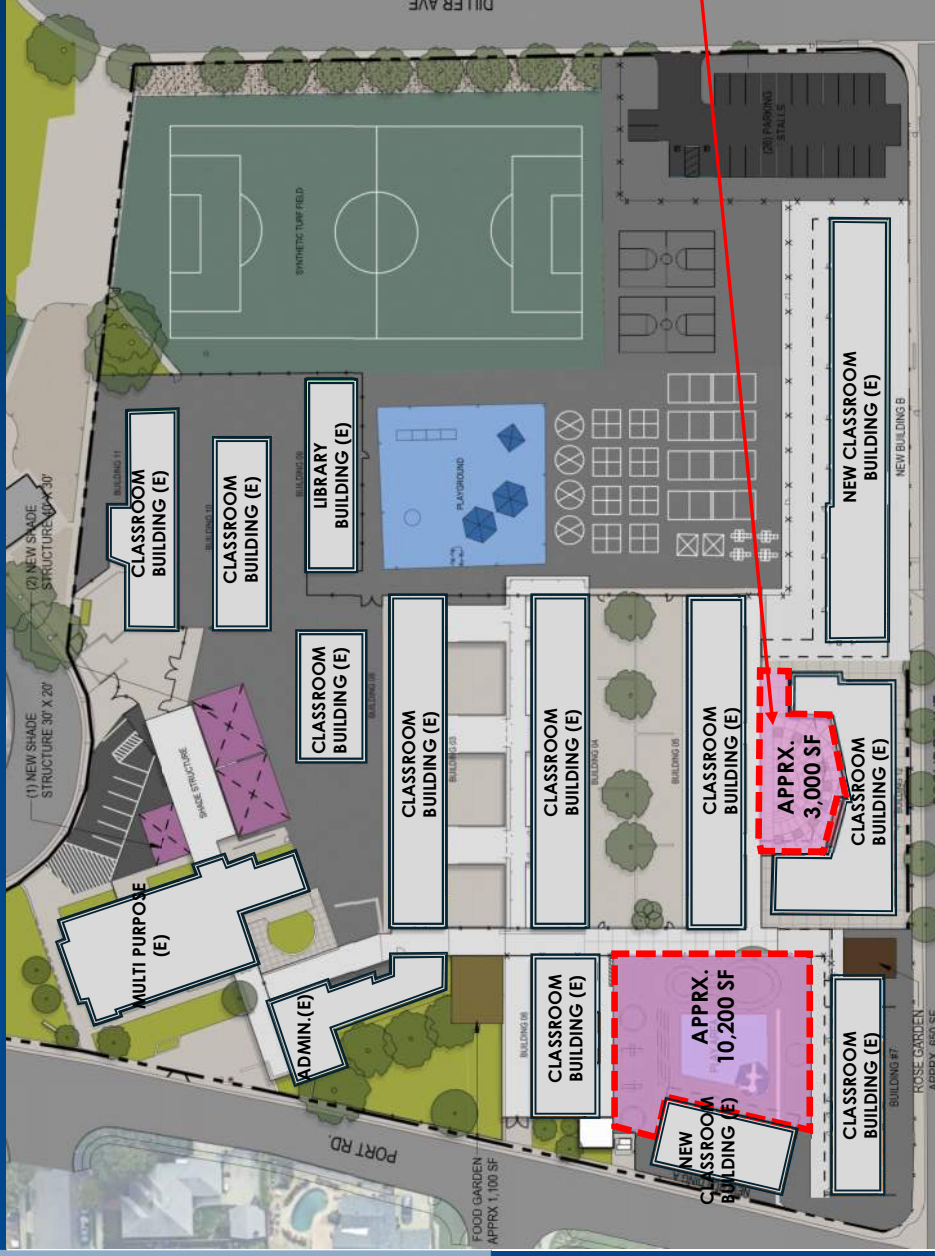
Scope boundaries, OK



El Marino Language School

Outdoor Activity Space: OCD/TK/K

	OCD
	TK
	KINDER
	1 ST GRADE
	2 ND GRADE
	3 RD GRADE
	4 TH GRADE
	5 TH GRADE
	SPC. ED
	ART



The outdoor activity area sizes are acceptable.

REQUIRED

OUTDOOR ACTIVITY SPACE
(75sf per child)

~~(2) OCD x 20 = 40 children~~
24 children x 75 sf = 1800 sf
~~40 children x 75 sf = 3,000 sf~~
(PROVIDED = 3,000 SF)

RECOMMENDED

OUTDOOR ACTIVITY SPACE
(75sf per child)

KINDER x 24 = 144 children
(2) TK x 20 = 40 children
Total 184 children

184 children x 75 sf = 13,800 sf
(PROVIDED = 10,200 SF)

The OCD playground needs to be fenced off while still allowing access to the bathrooms for upper grade students. So, play area shown can be right sized per the required area above.



El Marino Language School

SCHEMATIC DESIGN

El Marino Language School

Previous Meeting

- a. Discussed programming objectives.
 1. Concern: Green space/shade—old growth trees a priority for site.
 - **Need to conduct tree survey with arborist to determine health of existing trees.**
 2. Concern: Rose garden important to site.
 - **Propose to relocate rose garden next to TK building along Coolidge Avenue.**
 3. Concern: Edible garden important to site.
 - **Propose to relocate edible garden next to Admin building.**
- b. Phasing reviewed.
 1. Classroom count: 28 (**overall 40 classrooms needed—in addition, specialist support space and counseling**).
 2. Administration modernization not included in Phase 1.
 3. **Multi-Purpose Room (Auditorium)** modernization not included in Phase 1.
 - **Multi-Purpose Room (Auditorium)** scope could be considered if Phase 1 project costs allow.
 4. Project funding
 - Staff concerned with equity based on school enrollment.
 - a. Consider additional funding under Prop 2.
 - **Staff concerned with OCD scope impacting funding for school-related program needs. Staff informed that OCD scope is to be included in the project budget as OCD contributes to future school population.**
 - **Staff requested need to begin seeing estimated construction costs for the project.**
 5. Art classroom:
 - Two provided (two needed).
 - **Art classrooms to be adjacent to each other to allow for resource sharing between the classrooms.**
 6. Staff room
 - Needs to be a flexible space for school use.

- Teacher meeting/conference room
- **Specialist Rooms**
 - Speech
 - a. Space allocation for 6-8 students and 2 adults.
 - Occupational Therapy
 - a. Space allocation for 6-8 students and 2 adults.
- 8. Transitional-Kindergarten (TK)
 - Confirm restroom requirements
- 9. Classrooms 21-23
 - Resized into two **TK** classrooms for proper instructional use (**1350 sf**).
- 10. Cafeteria
 - Provide water bottle filling station(s)
- 11. Sustainable strategies
 - Rainwater collection
 - Solar
 - Daylighting
 - Heat Island mitigation (natural shading vs shade structures)
 - a. **Evaluate coatings for asphalt paving (i.e. Streetbond).**
 - Indoor Air Quality
 - a. Indoor/Outdoor spaces at classrooms not ideal due to outdoor air quality conditions.
 - b. Operable windows not ideal for classrooms due to outdoor air quality conditions.
 - c. Evaluate existing HVAC systems and provide recommendations for enhanced air filtration within classrooms.
 - i. **tBP confirmed that MERV 13 filters are installed for air filtration within each classroom.**

El Marino Language School

Previous Meeting

- c. Option A presented
 - 1. Preferred, however, need to confirm potential impact of existing electrical infrastructure and trees.
- d. Option B presented
 - 1. May be considered over Option A if existing electrical infrastructure is to remain.
 - 2. Committee asked that previous options be re-evaluated by the committee for reconsideration.
- e. Classroom alignment
 - 1. Committee discussed a desire to see OCD/TK/K grouped together for ease of wayfinding for students and parents.
 - This grouping requires adding covered walkways to existing buildings along Coolidge Avenue.
 - Repurpose existing buildings along Coolidge Avenue for TK and OCD.
 - 2. Consider moving 5th grade classrooms to new proposed building along Coolidge Avenue.
 - Allows for site area adjacent to building to be shared play area.
- f. Quick-Start Projects
 - 1. Shade structures @ lunch area
 - Fabric life: 10-year factory warranty
 - Confirm over-the-counter review potential
 - a. Requires geotechnical/geohazard report
 - Consider removing parking adjacent to lunch area and creating a loading zone for kitchen deliveries.
 - Consider locating shade structures adjacent to existing

- lunch shelter canopy—between the canopy and future loading zone.
- 2. Perimeter fencing
 - Consider hybrid fencing design
 - a. Ornamental fencing at school entrance and interior campus fencing.
 - b. Privacy fencing at playground perimeter
 - i. Anti-climb fencing preferred (i.e. Ameristar WireWorks Anti-Climb Welded Wire Fence)
 - Fencing must be below 8 feet in height (7'-11")
 - a. Ornamental fencing
 - b. Anti-climb fencing with privacy screening

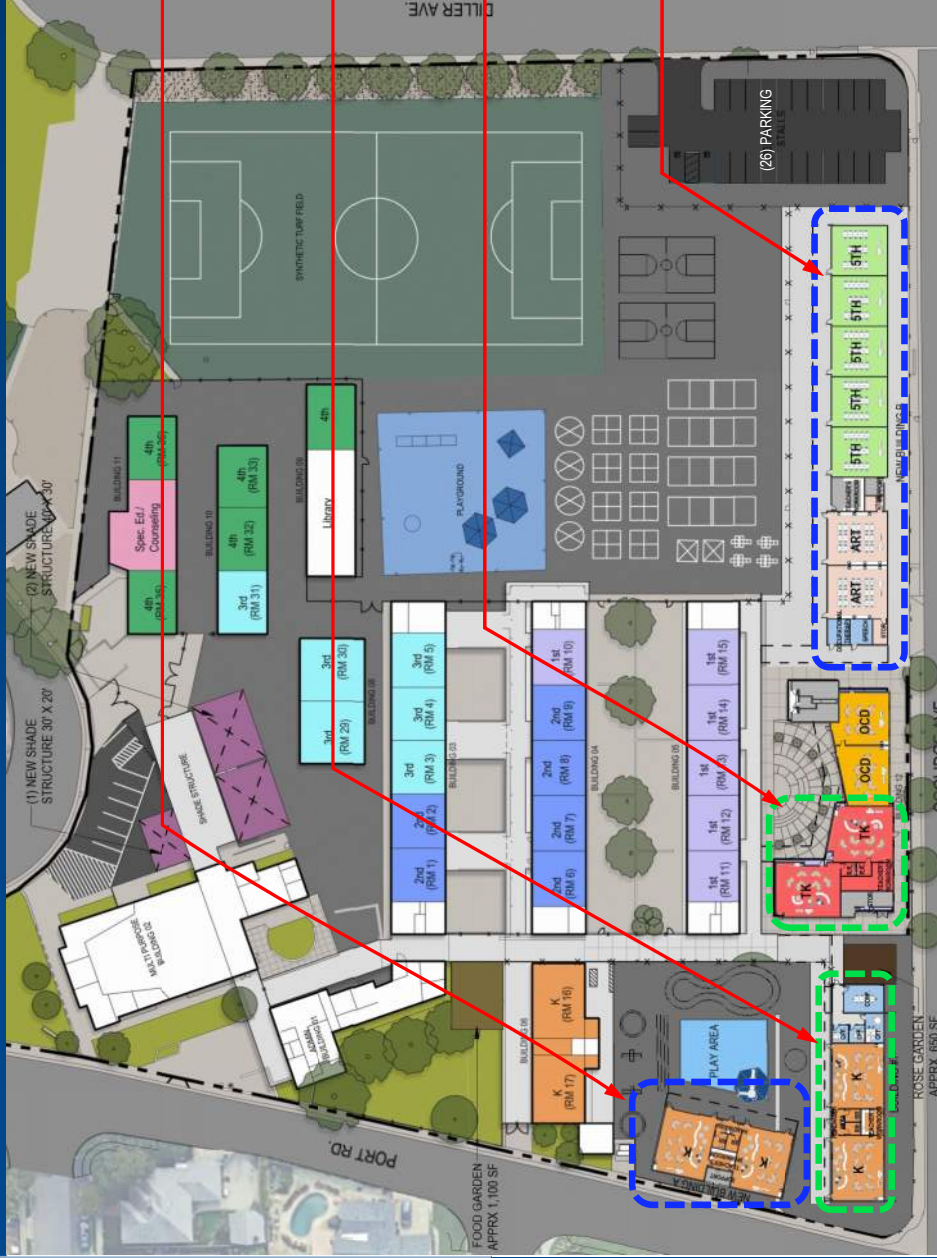
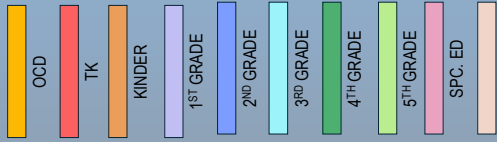
El Marino Language School Previous Meeting

- OCD
- TK
- KINDER
- 1ST GRADE
- 2ND GRADE
- 3RD GRADE
- 4TH GRADE
- 5TH GRADE
- SPC. ED
- ART



The committee still likes Option A.
But if Option A is not feasible, option B is OK with program changes

Campus Plan - Updated



NEW BUILDING A
(2) KINDER

RENOVATE EX. BLDG #7
(2) KINDER
TEACHER OFFICES

RENOVATE EX. BLDG #12
(2) T-K

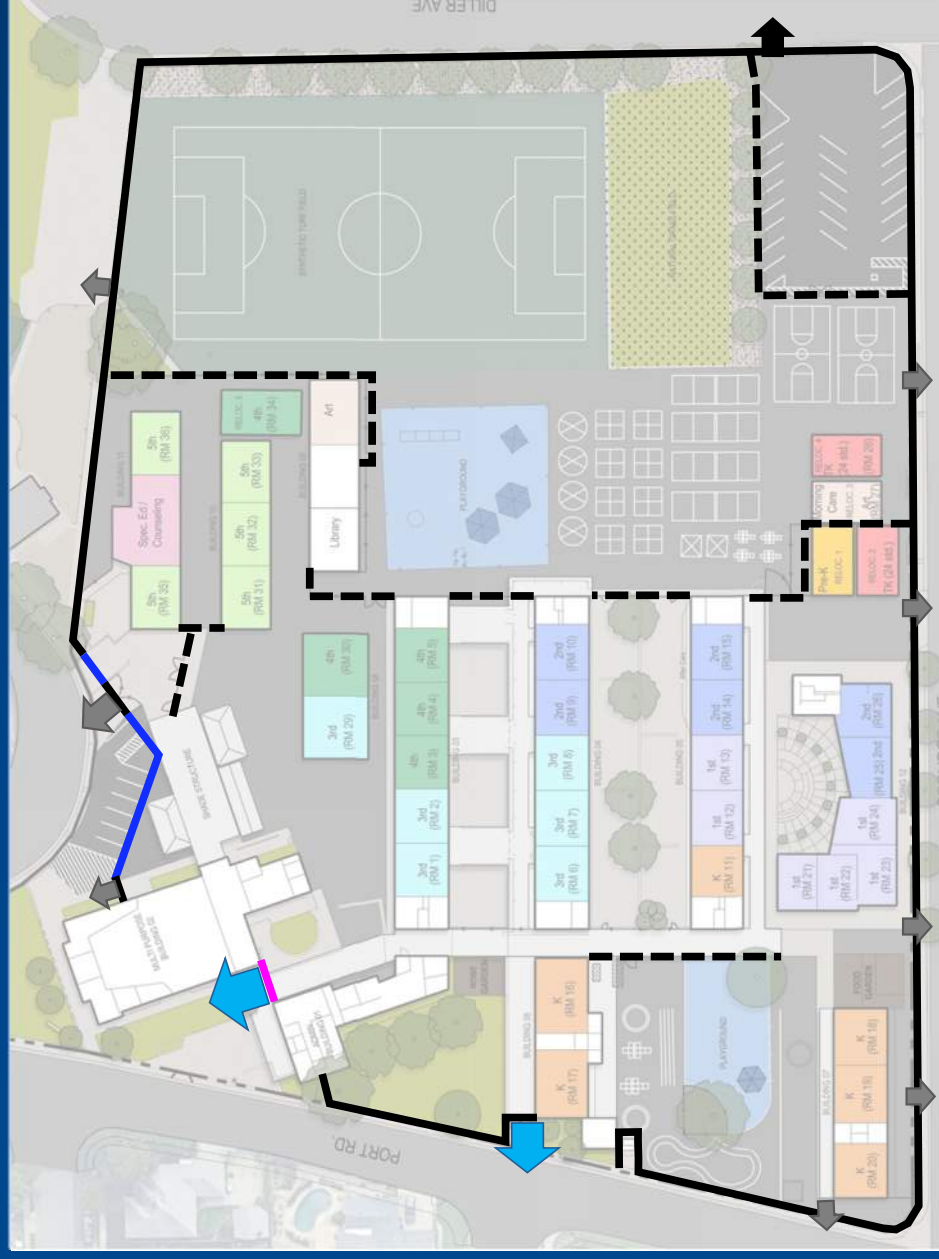
NEW BUILDING B

- (4) 5TH CR
- (2) ART CR
- (1) SPEECH
- (1) OCCUPATIONAL
- (1) TEACHER WORK ROOM

El Marino Language School Perspective - Aerial SE



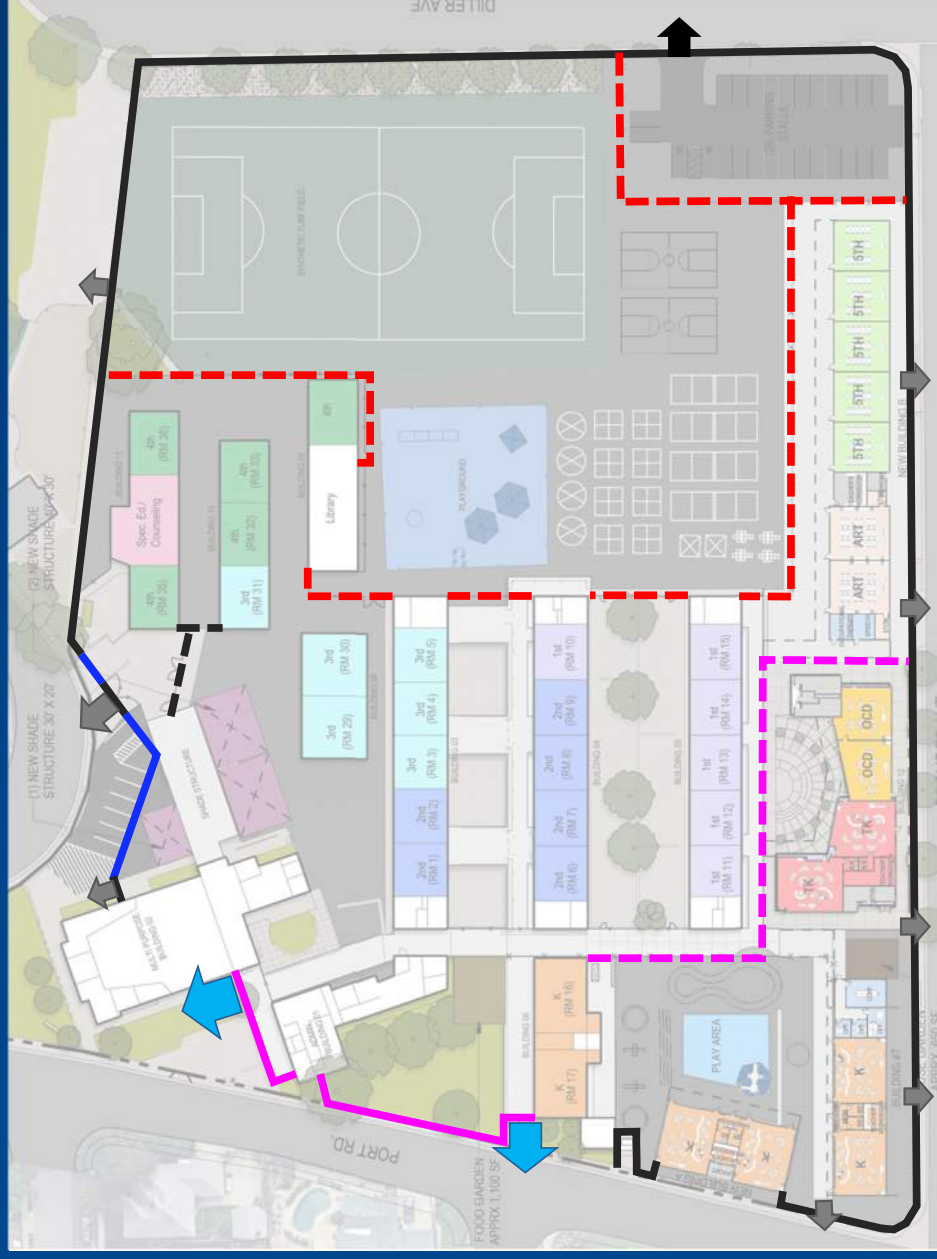
El Marino Language School Perimeter Fencing - Existing



- Ex. Perimeter chain-link fencing
- Ex. Interior chain-link fencing
- Ex. Perimeter brick wall
- Ex. Perimeter ornamental fencing

- Ex. Main Access/ Gate
- Ex. Secondary Access/ Gate
- Ex. Parking Access

El Marino Language School Perimeter Fencing – Option A



- Ex. Perimeter chain-link fencing
- - - Ex. Interior chain-link fencing
- New Perimeter brick wall
- New perimeter ornamental fencing
- - - New anti-climb fencing with privacy screening
- - - New interior ornamental fencing

↑ Ex. Main Access/ Gate

↑ Ex. Secondary Access/ Gate

↑ Parking Access

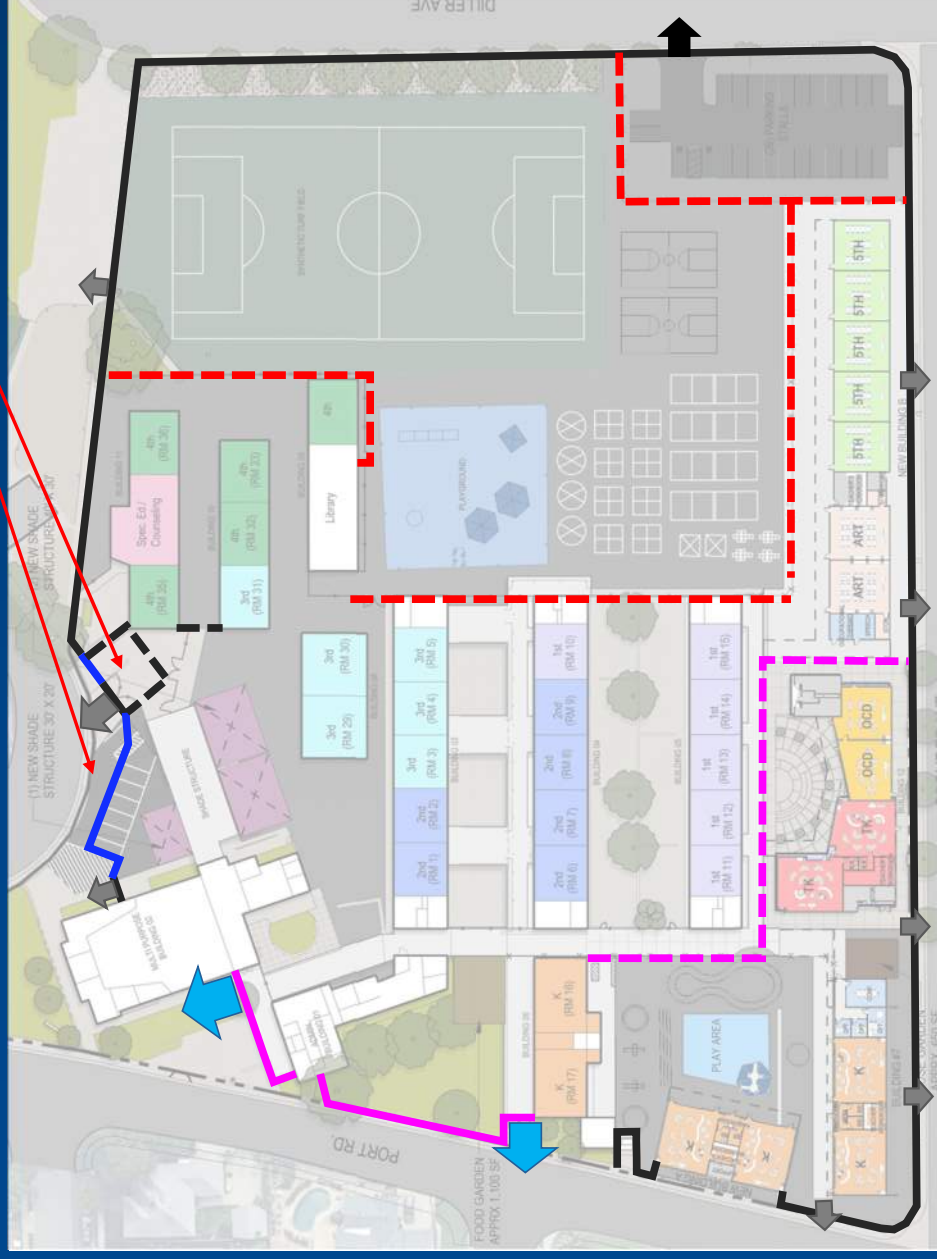
1. Perimeter fencing

- Consider hybrid fencing design
 - a. Ornamental fencing at school entrance and interior campus fencing.
 - b. Privacy fencing at playground perimeter
 - a. Anti-climb fencing preferred (i.e. Ameristar WireWorks Anti-Climb Welded Wire Fence)
- Fencing must be below 8 feet in height (7'-11")
 - a. Ornamental fencing
 - b. Anti-climb fencing with privacy screening

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Perimeter Fencing - Option B

Minimize the trash area if possible. Accommodate a pull out for the food delivery truck to offload daily deliveries for up to an hour.



- Ex. Perimeter chain-link fencing
- - - Ex. Interior chain-link fencing
- New Perimeter brick wall
- New perimeter ornamental fencing
- - - New anti-climb fencing with privacy screening
- - - New interior ornamental fencing

↑ Ex. Main Access/ Gate

↑ Ex. Secondary Access/ Gate

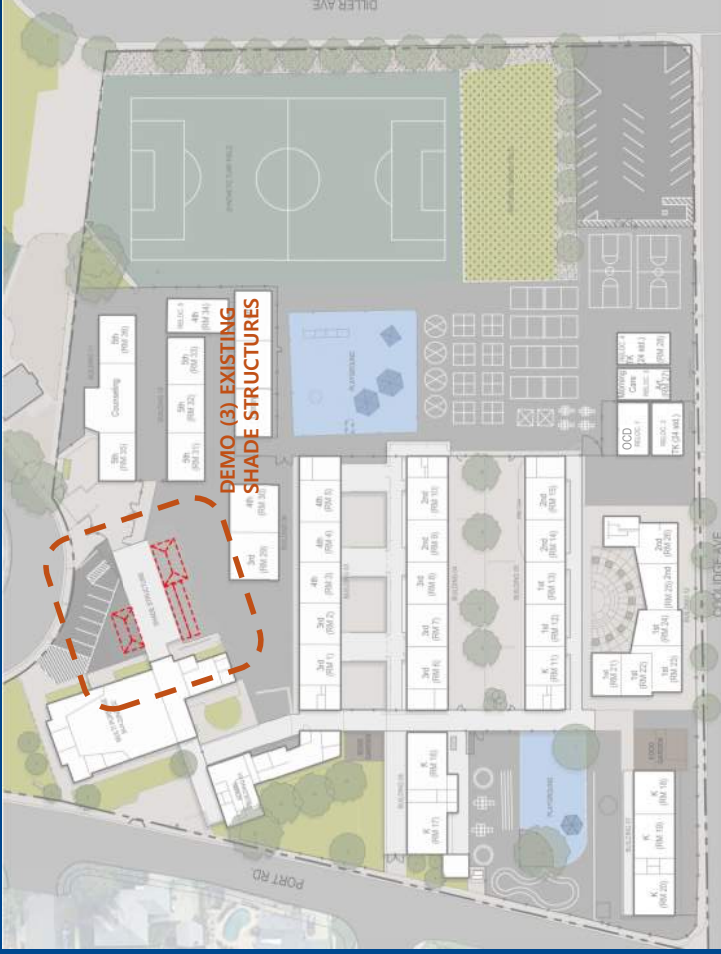
↑ Parking Access

1. Perimeter fencing

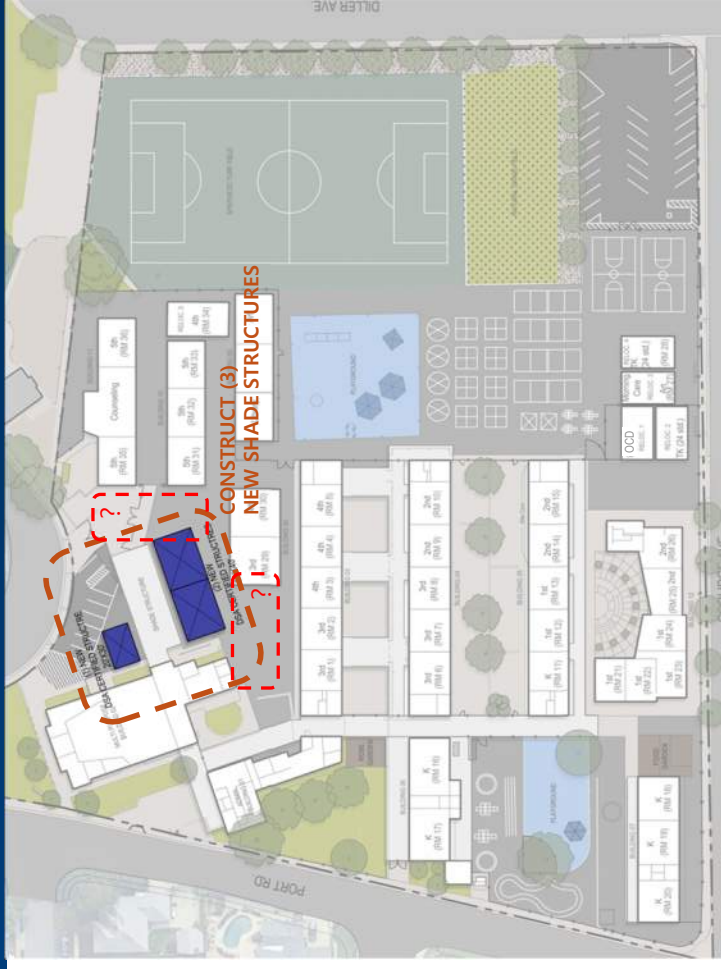
- Consider hybrid fencing design
 - a. Ornamental fencing at school entrance and interior campus fencing.
 - b. Privacy fencing at playground perimeter
 - a. Anti-climb fencing preferred (i.e. Ameristar WireWorks Anti-Climb Welded Wire Fence)
- Fencing must be below 8 feet in height (7'-11")
 - a. Ornamental fencing
 - b. Anti-climb fencing with privacy screening

El Marino Language School Quick Start Project - Shade Structures

DEMO EXISTING SHADE STRUCTURES



NEW DSA CERTIFIED SHADE STRUCTURES

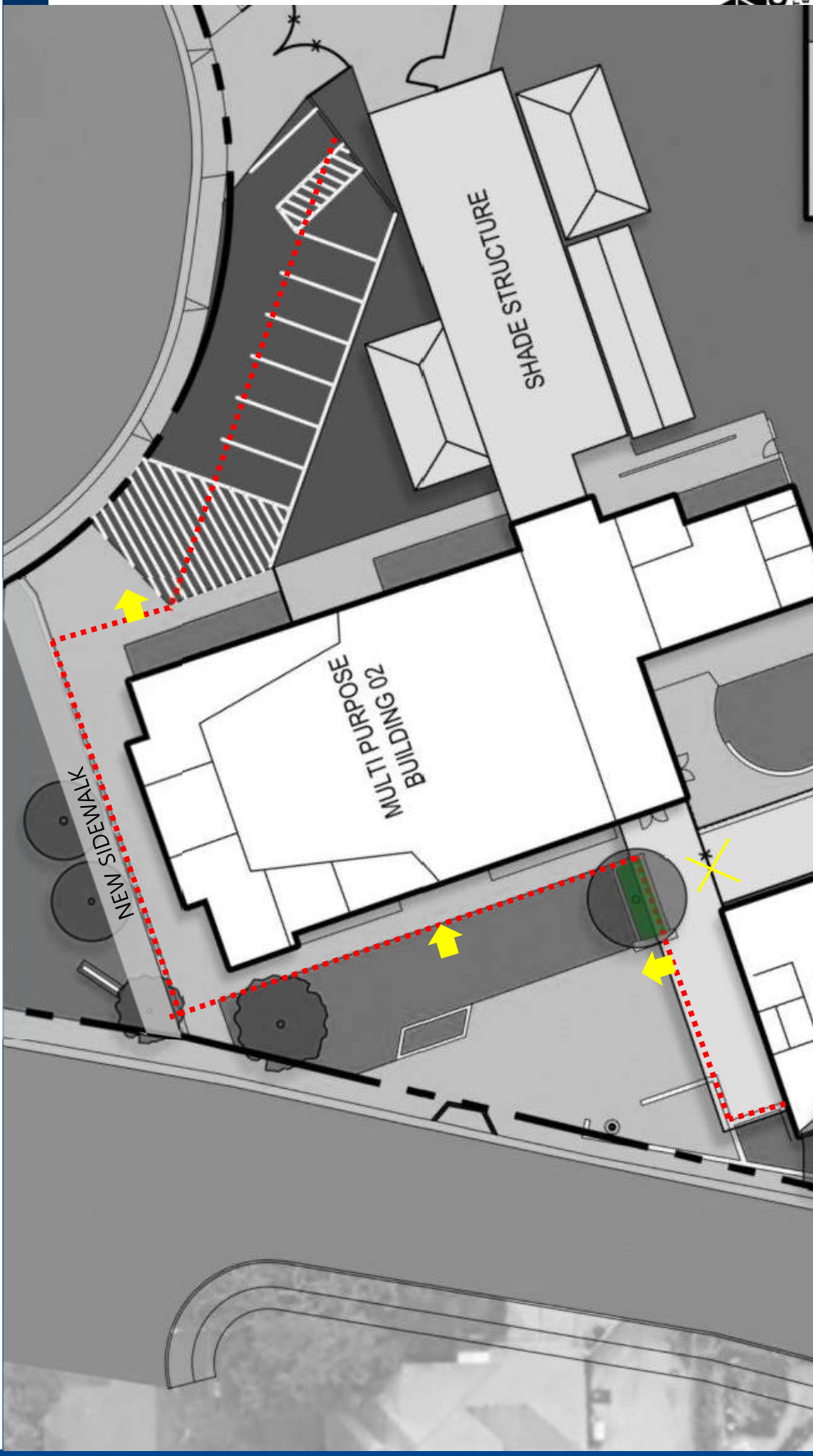


Study options for shade structure locations that would not inhibit future growth/planning for a new MPR Building.

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District want to have secure campus that includes fencing in the MPR to prevent "runners".

Quick Start Project – Secure entry fencing



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Quick Start Project – Secure entry fencing

District want to have secure campus that includes fencing in the MPR to prevent "runners". The fencing type and location needs to be studied. The black fence surrounding the MPR illustrated below is not liked. Options could include perforated metal graphic designs. The fencing should enhance the campus.



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Thank you !