



LINWOOD E. HOWE ELEMENTARY SCHOOL

New Classroom Buildings PROGRAM BOOKLET LINWOOD E. HOWE





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1. PROJECT TEAM

District:

Culver City Unified School District

4034 Irving Place, Culver City, CA90232 Phone : (310) 842-4220

Program Manager:

Telacu Project Management

604 N Eckhoff St, Orange, CA 92868

Phone: (714) 541-2390

Architect:

tBP/Architecture,

4611 Teller Ave., Newport Beach, CA 92620 Phone: (949) 673-0300.

Structural Engineer:

VCA Engineers

1845 W Orangewood Ave #200, Orange, CA 92868 Phone : (714) 978-9780

Electrical, Technology Engineering:

P2S Engineers

14451 Chambers Road, Suite 210, Tustin, CA 92780 Phone: (949) 417-3903

Project Location:

Linwood E. Howe Elementary School

4100 Irving Place, Culver City, CA 90232 Phone: (310) 842-4338

Mechanical, Plumbing, Fire Sprinkler Engineering:

Pocock Design Solutions

5000 E Spring St 8th floor, Long Beach, CA 90815 Phone: (562) 497-2999

Civil Engineers:

FPL and Associates, Inc.

30 Corporate Park, Suite 401 Irvine, CA. 92606 Phone: (949)-252-1688

Landscape Architects:

Cornerstone Studios

951 E Santa Ana Blvd., Santa Ana, CA 92701 Phone : (714) 973-2200

2. PROJECT NARRATIVE

Architecture - Executive Summary

Introduction:

With the passage of Measure M the Culver City Unified School District embarked on engaging architects to bring to fruition Phase 1 projects outlined in the District's Facility Master Plan. The Master Plan was developed and approved by the Board in 2023. The District-wide Master Plan and Educational Specifications (design guidelines) are to be used as a strategic road map for the future.

The Phase 1 work scope that was identified in the Facilities Master Plan for the Linwood E. Howe School was as follows:

- 1. Construct a new two-story building incorporating:
 - (5) Title 5 compliant Kindergarten classrooms.
 - (6) general classrooms.
 - Small support spaces for pull-out programs.
 - Staff lounge and workroom
 - Restrooms
 - Storage
 - Mechanical facilities
 - **Custodial facilities**
 - Elevator and stairs
- Keep existing relocatable classrooms in place to use as swing space for classroom modernizations.
- New Fencing

The tBP/Architecture team was hired to accomplish a programming document that reflects this Phase 1 scope of work. During the course of the programming effort the exact program of the new building has evolved, and the scope of work was adjusted to include modernizing all of the classroom buildings. The following document outlines the programming effort.

Mission Statement:

Located in the heart of Culver City, our diverse Linwood E. Howe school community uses an innovative, well-balanced approach to empower tomorrow's collaborative leaders by instilling a life-long passion for learning in a challenging, authentic, and nurturing environment in which stakeholders value the whole child by providing a personalized educational experience that develops emotional intelligence and prepares them to flourish as creative thinkers and problem solvers in our evolving global society.

2. PROJECT NARRATIVE

<u>Architecture - Executive Summary</u>

History:

The original Linwood E. Howe School was constructed 1967 with a newer 2 story classroom building added in 1997. In addition to the 6 permanent buildings are 5 relocatable buildings that in total, accommodate the student enrollment. Of the 6 permanent buildings, there is a single story Administration, Multi-purpose building, a single story Library building, a single story Kindergarten building and (3) 2-story classroom buildings. Two of the 2-story classroom buildings have 4 regular classroom clusters surrounding a small collaboration space. The original buildings all have concrete structural frames with glass and brick infill. The remaining 2 story classroom building houses SDC and regular classrooms on the second level. The newest of the buildings is a steel-framed building, sheathed in stucco and topped with a curved metal roof. All the classroom buildings have exterior circulation.

The school was originally built as a neighborhood school to serve K-5 students.

Site:

The site consists of a 4 acre parcel that sits adjacent to the Culver Unified School District's District office. The site is bounded by streets to the north and south of the site. To the north are multifamily houses and commercial office buildings. To the south and east are single family residences. To the west is the District Office.

Within the 4 acres there are 6 permanent buildings and 6 additional relocatable buildings that house a 577 student population to serve OCD, and TK-5 grade levels. The site supports a staff parking areas that accommodates 23 parking spaces. The site accommodates a small synthetic turf field, a grass field, hardcourts and a kindergarten play area. A unique feature of the site is that on the northeast side of the site there is an alleyway abutting the site and 2 electrical service poles that are on-site and serve the campus' electrical needs.

Linwood E. Howe Elementary Schooll Virtual tour link:

https://my.matterport.com/show/?m=x1mkGHC3aGL

2. PROJECT NARRATIVE

Architecture - Executive Summary

Process:

The process to develop these programming documents detailing work to be accomplished on this school site, has been an extremely open process guided by a design committee consisting of the school's Principal, teachers, parents, District staff and the program manager, Telecu construction. To date there have been 7 meetings with the committee. The work that was accomplished using an iterative process of asking questions, creating plan exhibits, critiquing the plan exhibits, refining them and developing them into what is demonstrated in this document.

The process began with an assessment team of who walked the site (architect, electrical, mechanical, plumbing, structural, and civil engineers) with District representatives to ascertain the efficacy of the current buildings and their instructional environments. The team toured each building, reviewed the District's plan documents, reviewed the EMG corporation's Facility Condition Report completed in February of 2019, took photographs and put together a specific narrative that describes each of the building systems and their expected life spans.

Program:

The current school enrollment from the California Department of Education indicates that the schools serves 577 students. The District standards for grade level enrollment indicate that the TK program serves a maximum of 20 students per classroom, Kindergarten through 3rd grade programs serve a maximum of 24 students per classroom, and the remaining 4th and 5th grade classrooms serve 28 students per classroom. The pre-school program is called the Office of Child Development or OCD. The site is licensed to accommodate 64 OCD students. The maximum number of OCD students to be accommodated in an OCD classroom is 24. The site also runs an after school and before school program that supports the TK-5th grade students. The before and after care program shares all existing facilities.

3. PROJECT SCHEDULE

CULVER CITY USD I Linv	wood Howe	Ele	em	er	nta	ıry	S	cł	10	ol																																			
Start Dat	e : 10/1/2024		2024		ılı	=IN/	ı v		202				DINIC		ılc	11/1	202 /IAIMIJI.			26 11/	26 Jasono			7	ılı	= I v	ΛA	_	2027			ASON			_	<u>-</u> 1	M	٨١٨		02		c	Ы	N	
Schematic Design	2 months	30	1 ^N	4	<u> </u>	= N	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	IVI	J	J	AIS		IN I	4		IVI	A	IVI	1	J /			IN	Ч	<u> </u>			IVI	J	<u>J/</u>	4	3	IN	יו	J	-	1		/		A	0	ď	IN	1
Design Development	3 months													1																															
Construction Document	4.5 months																																												
DSA Review/Approval	7 months																																												
Bidding	3 months	П	П								T										Ī			Ī	T	Ī				Ī		Ī			П			T	Ī						
Construction Phase	15 months																												-																
Project Close-out	3 months																																												

4. EXISTING CAMPUS PLAN





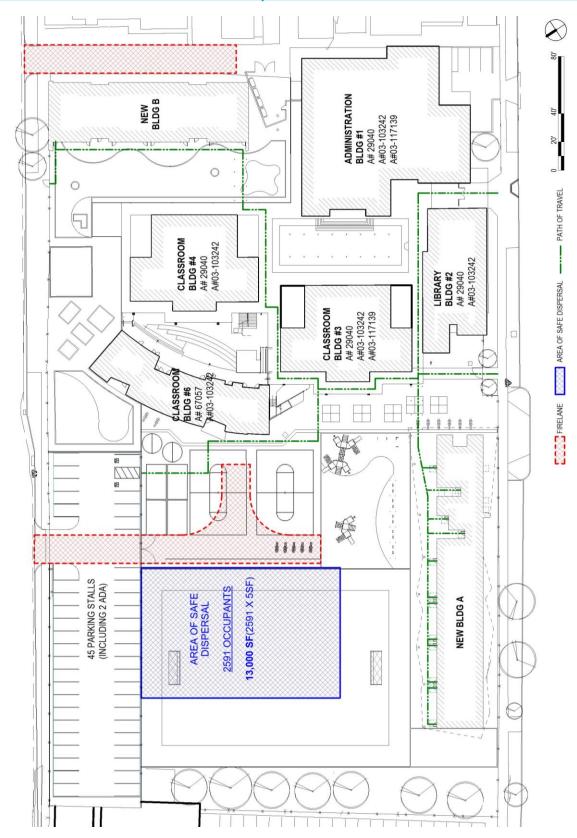
5. NEW CAMPUS PLAN





6. CODE ANALYSIS SITE PLAN

Fire access lane I Safe dispersal area I Path of travel



7.1 PROGRAM SUMMARY

Enrollment and number of classrooms

LINWOOD	E. HOWE	Element	ary School					
Grade	Enrollment 2024-25	Number of students per CR	Total Number of CR required per Current Enrollment	Number of Existing CR	Number of additional CR needed based on Current Enrollment	Total Number of CR for the future	Notes	Total student capacity in CR
OCD	14	1:24	3	4	0	1	Located in portable.	24
TK	44	1:20	3	2	1	3		60
К	69	1:24	3	3	0	4	(1) Additional requested.	96
Grade 1	78	1:24	4	4	0	4	·	96
Grade 2	92	1:24	4	4	0	4		96
Grade 3	91	1:24	4	4	0	4		96
Grade 4	89	1:28	4	3	1	4		112
Grade 5	87	1:28	4	3	1	4		112
SDC	13		2	2		2		
Art			1	1		1		
Music/STEM				0		1	(1) Requested	
Open				1		0		
	577		32	31	3	32		692

7.2 BUILDING PROGRAMS

	New Classroom Building A												
Room Name	Quantity	ASF	Total ASF	Notes									
1st Floor													
Regular Classroom	4	960	3,840										
Speech Therapy	1	200	200										
Occupational Therapy	1	200	200										
Sensory room	1	300	300										
Conference	1	240	240										
Counselor	1	200	200										
Office	2	120	240										
Support													
Electrical	1	100	100										
Data	1	100	100										
Restroom	2	300	100										
Custodial	1	80	100										
Total			5,620										

New Classroom Building B													
Room Name	Quantity	ASF	Total ASF	Notes									
Kinder classroom	4	1,350	5,400										
- Restroom	4			Part of the classroom, (1) per classroom or, (2) can be shared by 2 classrooms, direct access from the classroom									
- Commual handwash area	2			Part of the classroom, handsink in the restroom or, (2) handsink in common handwash area shared by 2 classrooms, direct access from the classroom									
- Teacher's Work Area	2			Part of the classroom, shared by 2 classrooms, direct access from the classroom									
- Play Equipment Storage	2			Part of the classroom, shared by 2 classrooms									
Electrical/ Data	1	100	100										
Total			5,500										

	Modernization												
Room Name	Quantity	ASF	Total ASF	Notes									
Building #4 - 1st Floor													
TK classroom	3	1,350	4,050	Convert the CRs to TK CRs									
- Restroom	3			Part of the classroom 1 per classroom									
- Teacher's Work Area	1			Part of the classroom shared by 3 classrooms									
Art	1	928	928	Convert the CR to Art									
Total			4,978										

8. AREA OF PROJECT SCOPE



MODERNIZATION-EXTENSIVE

MODERNIZATION-REFRESH

NEW CONSTRUCTION SITE MODERNIZATION

9. OUTDOOR PLAY AREA **JUSTIFICATION**



OUTDOOR ACTIVITY SPACE FOR KINDER

RECOMMENDED

(75sf per child)

(4) KINDER \times 24 = 96 children (3) TK \times 20 = 60 children Total 156 children

156 children x 75 sf = 11,700 sfPROPOSED - 8,220 sf

OUTDOOR ACTIVITY SPACE FOR OCD

REQUIRED

(75sf per child)

64 children (site licensed) x 75 sf= 4,800 sf PROPOSED - 3,525 sf

10. COST ESTIMATE

Description	Quantity l	Unit	Unit Cost	Subtotal	Total	
Phase 1						
riiase 1						
New Building Construction						
New Building "A"	6,781	sf	1,000.00	6,781,000		
Building "A" Canopies	2,520 s		350.00	882,000		
New Building "B"	5,787 s		1,000.00	5,787,000		
Building "B" Covered Walk	2,183		350.00	764,050		
Total New Building Const.	(Nov. 2024 Budge	et:	\$14,784,000)		14,214,050	
Building Modernizations						
Building #4 (Extensive)	1,213	sf	550.00	667,150		
Building #4 (Refresh)	3,765 s	sf	350.00	1,317,750		
Relocatable #1	1,089	sf	350.00	381,150		
Total Building Modernization	(Nov. 2024 Budge	et:	\$6,719,400)		2,366,050	
Site Work						
New Play Area for K & TK	5,973 s	sf	65.00	388,245		
Bldg. "A" Play Area	6,082 s		55.00	334,510		
Play Area Modernization	22,709 s	sf	50.00	1,135,450		
Building "A" Utilities	1	S		650,000		
Building "B" Utilities	1	S		300,000		
Shade Structure	2,422 s	sf	350.00	847,700		
Lunch Area Modernization	3,667 s		50.00	183,350		
New Play Area for OCD	3,525 s		65.00	229,125		
Artificial Turf	28,647		55.00	1,575,585		
New Parking	14,869 s	sf	80.00	1,189,520		
Total Site Work	(Nov. 2024 Budge	et:	\$2,501,801)		6,833,485	
Total Phase 1 Construction Cost	(Nov. 2024 Budge	et:	\$24,005,201)			23,413,585
Escalation (2 yr. @ 6%)	23,413,585	x	12%	2,809,630		
					26,223,215	



Total Phase 1 Constrution Cost



26,223,215

11.1 CONSULTANT'S ASSESSMENT

Structural



Subject: STRUCTURAL ASSESSMENT AND STRUCTURAL BASIS OF DESIGN

OF PROPOSED MODERNIZATION AT LINWOOD HOWE ELEMENTARY SCHOOL

4100 IRVING PL

CULVER CITY, CA 90232

Date: FEBRUARY 16, 2025



Prepared by:

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A. INTRODUCTION

VCA Engineers has visit the site to provide visual observation of the school site for general conditional survey of the existing structures at Linwood Howe Elementary School to support the proposed Architectural and HVAC Modernizations.

This report supplements the architectural and mechanical, electrical, and plumbing (MEP) report and drawings. It is our understanding that the initial scope of this project consists of HVAC upgrades and minor architectural improvements.

Basis of Structural Design is prepared as a part of the assessment for future design use for the rehabilitation. Structural evaluation of the buildings is not a part of this report.

Partial as-built drawings were available and a site visit was conducted to inform the preparation of this condition survey report and develop Basis of Design. See below for the building label plan

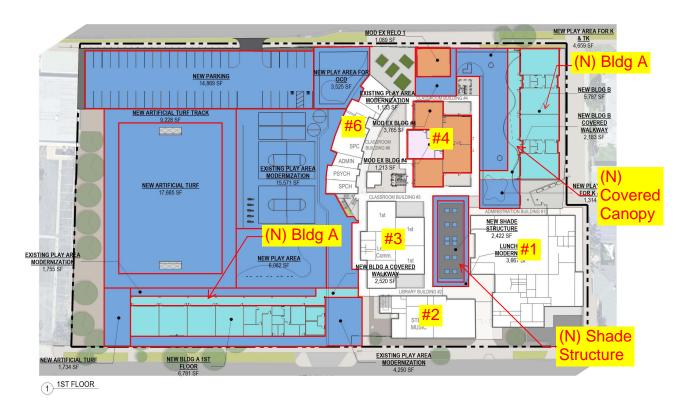




Figure 1-BUILDING LABEL PLAN

Project Overview

The intent of this report is to provide our initial structural findings based on the proposed and identified architectural and MEP improvements. The proposed architectural improvements are generally minor and are not expected to require significant alterations.

New Mechanical units are planned to be placed on grade, requiring new equipment pads/level platforms on grade.

Full seismic rehabilitation of each existing building is not intended by the Client and not in the scope of this project. However, based on the California Administrative Code Section 4-309 (c), structural rehabilitation is required if:

- The cost of the reconstruction, alterations or addition project exceeds 50
 percent of the replacement value of the existing building and the proposed
 modifications, or;
- (2) The effective seismic weight or wind force in any story increases by more than 10 percent cumulative since original construction, or;
- (3) The existing the lateral-force-resisting capacity or stiffness of any story in any one direction is not decreased by more than 10 percent, cumulative since the original construction. For the purposes of evaluating the strength or stiffness reduction, any new strengthening as a part of the project shall not be included, or;
- (4) Structural modification produces structural irregularity is that is prohibited in ASCE 7 Section 12.3.3.1 and CBC Section 1616A.1.10.

Item (1) is to be verified by the architect or cost estimator based on the DSA EB-4. Item (2) and (3) are discussed per building as applicable in the sections below. If soil-related issues trigger the mandatory seismic retrofit, consultation with Division of the State Architects (DSA) will be required.

Since the buildings are primarily light framed structures, most probably, the seismic retrofit scheme will be relatively simple. The potential scope and magnitude of seismic rehabilitation are outlined in each building assessment based on DSA EB-4 and EB-5.



In case seismic rehabilitation is required by DSA, most probably the following scope and magnitude needs to be done.

1. DSA REH program:

- (1) Design team needs to prepare Evaluation and Design Criteria Report (EDCR). See note below regarding EDCE waiver.
- (2) DSA review the EDCR and approve it after their review
- (3) EDCR should be prepared and approved prior to commencing any Design Development.
- (4) Testing should be performed (if needed) prior to the Construction Document.

2. Structural Rehabilitation.

- (1) Use the structural material strength from the testing results from the EDCR for the seismic retrofit design
- (2) Apply new structural lateral load resisting system to comply with the Current Building Code. (Either 2022 California Building Code or ASCE 41-17)
- (3) Get approval from the DSA for the rehabilitation program.

Note regarding EDCR Waiver:

For single-story wood framed buildings, EDCR may be waived if accepted by DSA in a pre-application meeting following all the following are complied with.

- 1. Vertical system is structural panels or diagonal sheathing
 - (1) Waiver not permitted if the strengthening includes overlaying structural sheathing on straight or diagonal sheathing.
- 2. Structural and non-structural components evaluation and retrofit will follow the requirements of the CBC for new buildings.
- 3. Materials properties are indicated on the original construction documents.
- 4. Condition assessment is performed per DSA IR EB-3.
- 5. Geohazard report indicated that there are no geological hazards on the site.



B. STRUCTURAL BASIS OF DESIGN

For Building Scope of work and further description, see Part C

- 1) Building Codes
 - a) 2022 California Building Codes (Title 24)
 - b) 2022 California Existing Building Codes
 - c) ASCE 41-17
 - d) ASCE 7-16
 - e) ACI 318-14
 - f) AWC NDS 2018 and AWC SDPWS 2015
- 2) Design basis
 - a) Provide all modernization items to meet current code requirements.
 - b) Should seismic rehabilitation be required based on the California Administrative Code Section 4-309 (c), rehabilitation will follow the approved EDCR. See previous pages for additional information.
- 3) Design Loads
 - a) Dead and Live Loads
 - i) Roof
 - (1) DL: Weight of construction materials
 - (2) LL: 20 psf
 - b) Wind Loads: Per Building Codes (Basic wind speed, V = 101 MPH)
 - c) Seismic Loads:
 - Soils report typically provides seismic design parameters. However, no soils report has been provided. The seismic design parameters listed below are from ASCE 7 Hazard Tool
 - ii) Mechanical anchorage and loads imposed to structure shall be per ASCE 7-16 Ch. 13.
 - iii) Seismic Design Parameters
 - (1) Site class: D per Section 11.4.3 (Default)
 - (2) Risk Category: III
 - (3) Seismic Design Category: D
 - (4) S_S, Design Spectral Response at Short Period(0.2 Second): 1.996g



- (5) S₁, Design Spectral Response at 1 Second Period Sd1: 0.707g
- (6) S_{DS} , Numeric seismic design value at 0.2 second : 1.597g
- (7) S_{D1}, Numeric seismic design value at 1.0 second : 0.799g

4) Soils Report:

- a) It is assumed that a soils report will not be provided for this modernization project due to the magnitude of the structural works. However if needed, it is allowed to use the worst case soils conditions per CBC Table 1806A.2. (Note that a separate soils report is required for the new building constructions which is not part of this report)
 - i) Allowable Bearing Pressure = 1500 psf
 - ii) Allowable Passive Pressure = 100 psf/ft
 - iii) Allowable Friction = 0.25
- b) Based on preliminary research on CGS Website: https://maps.conservation.ca.gov/cgs/informationwarehouse/eqzapp/, a portion of the site is in a zone that requires evaluation for liquefaction.
- 5) Structural Systems (See descriptions of existing building existing structural systems in Part C)
- 6) Typical Materials to be verified from the as-built condition or by testing
 - a) Plywood
 - b) Wood framing
 - c) Reinforcing Steel
 - d) Concrete
 - e) Any Structural Steel members
- 7) Testing and Inspection shall be per CBC Chapter 17 and DSA 103.



C. GENERAL BUILDING DESCRIPTION AND PROPOSED IMPROVEMENTS

C1. Building 1:

The existing building is a single story light framed wood structure and was built as part of the original campus. Original construction drawings were not available at the time. This assessment is based on the previous modernization drawings and our site visits.

The existing vertical load carrying system appears to consist of sawn lumber roof joists supported by sawn lumber stud walls. The lateral load resisting systems appears to be constructed with 1x6 lumber diagonally sheathed roof diaphragm and the 1x6 diagonally sheathed shear walls.

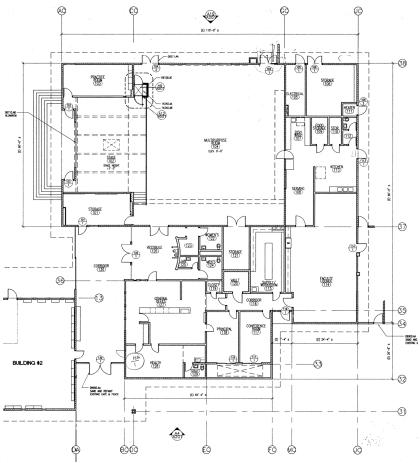


Figure 2- BUILDING 1: 1998 Modernization 1st Floor Plan



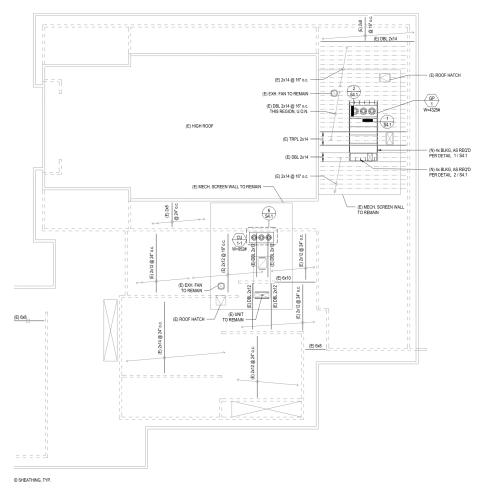


Figure 3- BUILDING 1: 2017 HVAC Upgrade Roof Framing Plan

Structural Assessment:

Based on our initial site visit and our limited visual observations, there were no obvious visible signs of structural distress.

The mechanical engineer is planning to place the new HVAC units on grade in lieu of roof mount. The weights of the units are unknown at this report. Mechanical pad and fence wall around the pad is expected. The mechanical concrete pad would be around 24 inches thick.

At the building, most likely local stiffening around new duct openings is required. The strategic location for the duct opening will be coordinated with MEP engineer to avoid seismic retrofit of the entire building per CAC 4-309 (c) 3.



Probable Seismic Retrofit Scheme:

Mandatory seismic rehabilitation is likely not required, based on current scope.

It is our understanding that the structural work at this time will be limited to support of minor non-structural elements. Minor structural modifications to the existing vertical or lateral system is expected (door penetrations and windows). The modifications will be coordinated with architect to avoid the mandatory seismic retrofit of the entire building per CBC4-309 (c).

Should seismic rehabilitation be required, it is estimated that the following will likely be the needed seismic improvements.

- The existing roof diaphragm members (diagonal 1x6 sheathing) needs to be replaced with new ½" plywood.
- The existing wall sheathing (diagonal 1x6 sheathing) needs to be replaced with new ½" plywood
- New anchor bolts need to be added between existing anchor bolts.
- New hold-down anchors need to be installed at the both ends of the new shear walls
- Some light gage hardware such as Simpson Strong Ties (A35 clips and Straps) need to be applied
- All non-structural element such as lighting fixture, drop ceilings, TV mounting, caseworks and lockers should be anchored to the structural members.
- Soils engineer's recommendations are needed to determine the impact and the extent of liquefaction. Note that since the building is a single story wood framed building, it is more tolerable to differential deflections than other types of buildings.



C2. Building 2:

The existing building is a single story light framed wood structure and was built as a part of the original campus with a stair core that leads to Building #3. Original construction drawings were not available at the time this assessment was conducted. The following information is based on the previous modernization drawings and our site visits. The existing vertical load carrying system consists of open web roof joists and supported by sawn lumber stud walls. The lateral load resisting systems appears to be 1x6 lumber diagonally sheathed roof diaphragm and the 1x6 diagonally sheathed shear walls.

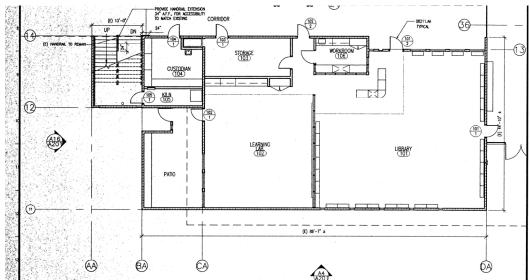


Figure 4- BUILDING 2: 1998 Modernization 1st Floor Plan



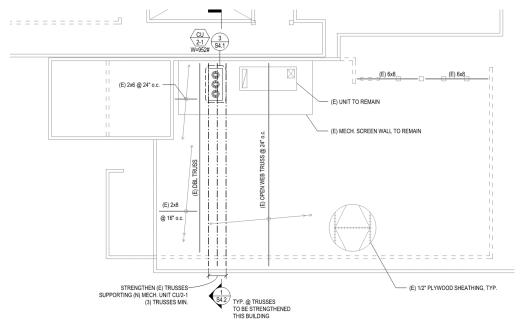


Figure 5- BUILDING 2: 2017 HVAC Upgrade Roof Framing Plan

Structural Assessment:

Based on our initial site visit and our limited visual observations, there were no obvious visible signs of structural distress.

The mechanical engineer is planning to place the new HVAC units on grade in lieu of roof mount. The weights of the units are unknown at this report. Mechanical pad and fence wall around the pad is expected. The mechanical concrete pad would be around 24 inches thick.

At the building, local stiffening around new duct openings is required. The strategic location for the duct opening will be coordinated with MEP engineer to avoid the mandatory seismic retrofit of the entire building per CAC 4-309 (c) 3.

Probable Seismic Retrofit Scheme:

Same as Section B1.

C3. Building 3 and 4:

The existing buildings are two story buildings and both are likely a formed concrete structure with a wood framed roof structure and were built with the original campus. Original construction drawings were not available at the time this assessment. The following information is based on the previous modernization drawings and our site



visits. The existing vertical load carrying system appears to be constructed with the open web roof trusses on steel framing with a formed concrete floor slab which is supported by the concrete beam systems on concrete columns and walls. The lateral load resisting system most likely consists with the concrete shear walls, plywood roof sheathing diaphragm and concrete floor diaphragm.

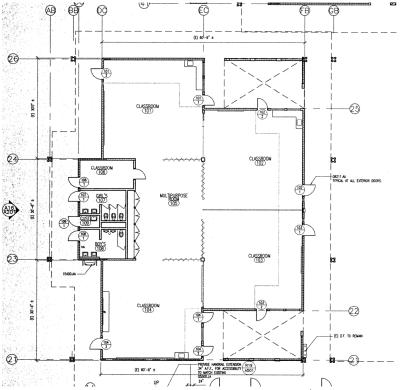


Figure 6- BUILDING 3: 1998 Modernization 1st Floor Plan



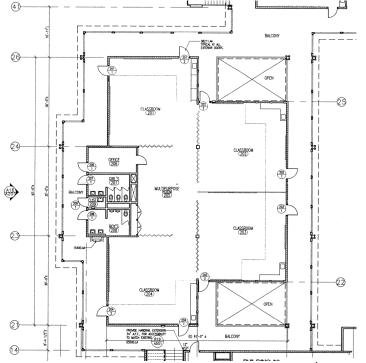


Figure 7- BUILDING 3: 1998 Modernization 2nd Floor Plan

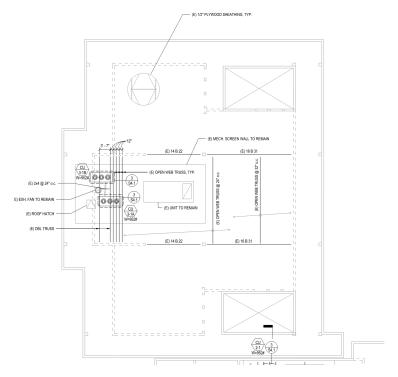


Figure 8- BUILDING 3: 2017 HVAC Upgrade Roof Framing Plan

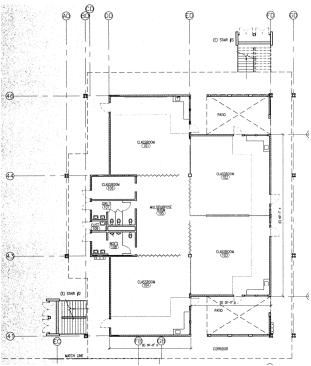


Figure 9- BUILDING 4: 1998 Modernization 1st Floor Plan

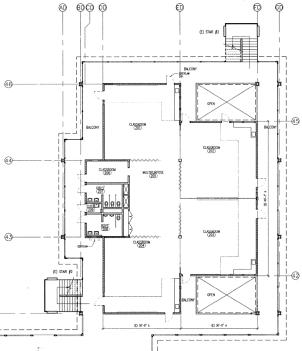


Figure 10- BUILDING 4: 1998 Modernization 2nd Floor Plan



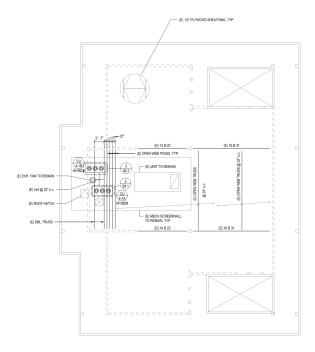


Figure 11- BUILDING 4: 2017 HVAC Upgrade Roof Framing Plan

Structural Assessment:

Based on our initial site visit and our limited visual observations, there were no obvious visible signs of structural distress.

The mechanical engineer is planning to place the new HVAC units on grade in lieu of roof mount. The weights of the units are unknown at this report. Mechanical pad and fence wall around the pad is expected. The mechanical concrete pad would be around 24 inches thick.

Local stiffening around new duct openings is required. The strategic location for the duct opening will be coordinated with MEP engineer to avoid seismic retrofit of the entire building per CAC 4-309 (c) 3.

Probable Seismic Retrofit Scheme (if Seismic retrofit is required):

- The existing roof diaphragm may require upgraded nailing
- Most likely need to add wall ties at the roof.
- Strengthen existing concrete shear walls with shotcrete or FRP.



- Improve concrete to shear wall diaphragm connections at the floor and roof.
- Soils engineer's recommendations are needed to determine the impact and the extent of liquefaction.

C4. Building 6:

The existing building is a two story light framed wood structures built circa 1997. The existing vertical load carrying system consists of wood i-joist roof and floor joists supported by glue laminated beams and wood framed posts/walls. The lateral load resisting systems consists of plywood roof and floor diaphragms and plywood sheathed shear walls. The as-built structural drawing was available for our review.

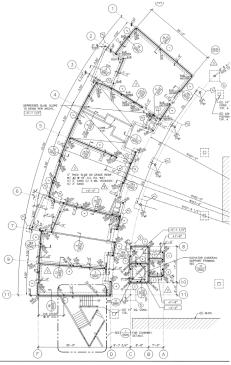


Figure 12- BUILDING 7: 2017 HVAC Upgrade Roof Framing Plan

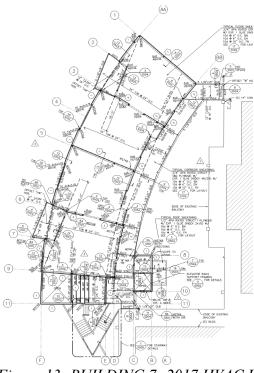


Figure 13- BUILDING 7: 2017 HVAC Upgrade Roof Framing Plan

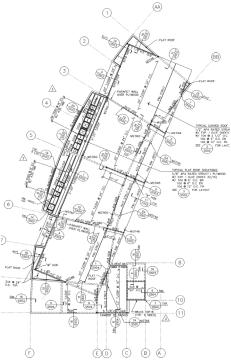


Figure 14- BUILDING 7: 2017 HVAC Upgrade Roof Framing Plan



Structural Assessment:

Based on our initial site visit and our limited visual observations, there were no obvious visible signs of structural distress.

The mechanical engineer is planning to place the new HVAC units on grade in lieu of roof mount. The weights of the units are unknown at this report. Mechanical pad and fence wall around the pad is expected. The mechanical concrete pad would be around 24 inches thick.

At the building, local stiffening around new duct openings will be provided. The strategic location for the duct opening will be coordinated with MEP engineer to avoid seismic retrofit of the entire building per CAC 4-309 (c) 3.

Probable Seismic Retrofit Scheme:

Per CAC 4-309 (c) 2, if effective seismic weight or wind force in any story increases by more than 10 percent cumulative since original construction then retrofit will be required.

Should seismic rehabilitation be required, it is estimated that the following will likely be the needed seismic improvements.

- The existing wall sheathing may require new nailing
- New anchor bolts need to be added between existing anchor bolts.
- New hold-down anchors need to be installed at the both ends of the new shear walls
- Some light gage hardware such as Simpson Strong Ties (A35 clips and Straps) need to be applied
- All non-structural element such as lighting fixture, drop ceilings, TV mounting, caseworks and lockers should be anchored to the structural members.
- Soils engineer's recommendations are needed to determine the impact and the extent of liquefaction.

11.2 CONSULTANT'S ASSESSMENT

Mechanical / Plumbing



Consulting Engineers

February 17, 2025
TBP Architects
4611 Teller Ave.
Newport Beach, CA 92660

Attention: Robert Demmond

Project: Culver City Unified School District - Linwood Howe Elementary

School

Subject: Mechanical/Plumbing Observation Report

Admin, Classroom, Kindergarten, and Library Buildings:

Each building is conditioned by a roof mounted multizone unit with supply ductwork routed from the rooftop unit to each zone. Each unit consists of a split DX coil with remote condensing unit, gas-fired furnace, supply fan and control dampers. The multizone units were manufactured by Seasons-4 in 1998 and are in fair conditioned. The condensing units connected to the multizone units were manufactured by Daikin in 2017 and are in fair condition. The multizone units have outlived their useful life expectancy but the condensing units have approximately 5-7 years remaining. It is recommended the multizone units be replaced at the same time that the condensing units are replaced.

The multizone units have been replaced previously but all of the ductwork in the buildings appear to be original. The ceiling registers are connected with rigid ductwork and do not align with the suspended ceiling grids. It is recommended the existing ductwork be thoroughly cleaned, resealed, and reinsulated. It is also recommended the existing ceiling registers be replaced with new including a new 5' length of flexible ductwork for the final connection.

The campus has an existing energy management system manufactured by Alerton. The system is dated but can remain as long as it is still functional.

Single occupancy restrooms have wall mounted flush valve water closets and wall mounted lavs with manual faucets. Gang restrooms have wall mounted flush valve water closets and wall mounted lavs with metered faucets. Existing

restroom plumbing fixtures are aged and do not meet current Cal Green requirements for low flow rates.

Existing drinking fountains throughout the campus are high low with bottle fillers and appear to be in good condition. It was observed the vent pipe for the exterior drinking fountain across from the kindergarten terminates at the half wall and does not extend far enough to meet code requirements. Recommend extending the vent as required.



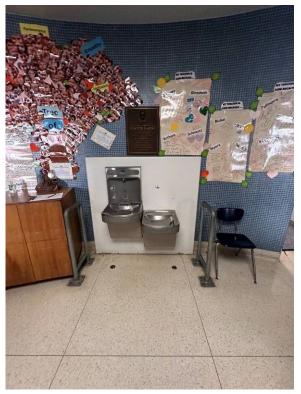
Typical multizone unit on roof.



Typical condensing unit on roof serving multizone unit.



Typical Alerton zone temperature sensor connected to EMS.



Existing high-low drinking fountain with bottle filler.



Typical plumbing fixtures.

New Classroom Building:

Each classroom is conditioned by a ducted fan coil unit located in a mechanical closet with refrigerant piping up to condensing units located in a mechanical well on the roof. We could not verify existing equipment age during the site survey but the units are original to the building construction and should not need replacement at this time. The units are controlled by wall mounted, programmable thermostats and are not connected to the Alerton energy management system.

Existing ductwork within the building is exposed, insulated spiral with duct mounted registers. The ductwork appears to be in good condition.

An electric, tank type domestic water heater is located on a suspended platform in the janitor's closer. The water heater is missing a drain pain, TP discharge piping, one seismic strap, and hot water pipe insulation per code requirements. It is recommended these items be added to the existing system.

Gang restrooms in the building have floor-mounted, flush valve water closets and wall mounted, lavatories with metered faucets.



Exposed ductwork with duct mounted registers.



Electrick tank water heater in janitor room.



Typical plumbing fixtures.

11.3 CONSULTANT'S ASSESSMENT

Electrical

Culver City USD Linwood Howe Assessement

Culver City , C A Electrical Assessment Report



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Electrical Existing Conditions

Electrical survey of the site was conducted on January 2, 2025 for the exteriors and interior spaces of the El Marino Campus. The following conditions were observed and documented:

- 1. Electrical service and distribution
- 2. General-purpose electrical devices and circuiting
- 3. Lighting and controls
- 4. Fire alarm

Electrical Service

Facilities are served from a Main Switchboard "MSB" 2500 Amp, 208/120V electrical utility adjacent to the Administration Building. This service refed an existing 800 amp, 208/120V service board that was no longer of a dequate capacity at that time.

The electrical service was installed in approximately 2000. The service is 25 years old. While the electrical service, visually appears to be in decent condition, it is at the end of the rated life for electrical equipment. Typical electrical equipment is rated for 20-25 years.

The existing 2500A, 208/120V, 3-phase 4-wire service serves the buildings throughout the Campus. Existing electrical panels vary in type of manufacturer and type, dependent on building additions and modernizations.

The majority of electrical panels have mixed electrical loads, meaning they have receptacles, lighting, and mechanical equipment on the same panel. This was code legal at the time of installation, but current Title 24 requires loads to be separated by load types. For instance, lighting shall be on one panel, mechanical on a separate panel, and receptacles on their own panel. Only 10% (by electrical load) of the panel shall have a "mixed load". This allows the ability to meter systems separately to verify building operations.

One noted item, rooms with electrical equipment are used as storage rooms. In many cases, the electrical panels are not accessible without fully emptying the rooms. Storage consists of anything from Audio/Visual equipment to cleaning supplies. These panels need to have clearance in front of them to allow access in case of emergency.

Lighting

Lighting throughout the Campus appears to be a mixture of lighting types and fixtures.

The school appears to have a mixture of LED and fluorescent light fixtures, dependent of rooms. Fluorescent light fixtures were common up and through the early 2000s.

Dependent on classrooms, some had LED 2'x4' light fixtures. Other classrooms appeared to have light fixtures with fluorescent lamps and acrylic lenses.

Back of house spaces such as restrooms, kitchens, etc appeared to have fluorescent utilitarian type light fixture.

Lighting controls appeared to utilize on/off toggle switches. Typical classrooms allow two separate zones to be switched independently. The rooms are equipped with occupancy sensors for energy savings.

In many cases, the light switches appeared to be mounted higher than ADA requirements allow.

The existing light fixtures and controls do not meet current Title 24 requirements. The lighting loads exceed today's allowance for watts per square foot installed. The controls do not meet the requirements for dimming and daylight zones.

Receptacles

Classrooms are equipped with receptacles throughout. Receptacles were difficult to locate due to Classroom furniture, materials, artwork, etc.

Some devices did not appear to meet current ADA requirements.

Fire Alarm Existing Conditions

The fire alarm system is currently addressable using a Notifier AFP-200 control panel. The spaces are equipped with ADA horns/strobes and smoke detectors throughout.

The existing documents do not indicate any heat detectors above the ceiling where ceilings exist.

ELECTRIC AL SYSTEM DESIGN

New and existing loads will be required to be reviewed to confirm adequacy to serve new project loads. The electrical systems will be designed to support the added HVAC load on the campus and enhance the classroom experience with even illumination and visual comfort. The proposed electrical system will include new panelboards, as well as associated conduit, wire, and pull boxes. The following sections outline the electrical system, the rationale for selection, and electrical specifications.

Design Criteria

Applicable Codes

- California Building Standards Administrative Code (Title 24, Part 1), 2022
- California Building Code (Title 24, Part 2), 2022
- California Building Code (Title 24, Part 3), 2022
- California Mechanical Code (Title 24, Part 4), 2022
- California Plumbing Code (Title 24, Part 5), 2022
- California Energy Code (Title 24, Part 6), 2022
- California Fire Code (Title 24, Part 9), 2022
- California Green Building Code (Title 24, Part 11), 2022
- California Referenced Standards Code (Title 24, Part 12), 2022

Reference Standards and Guidelines

American National Standards Institute ANSI

- American Society for Testing and Materials ASTM
- Association of Edison Illuminating Companies AEIC
- Certified Ballast Manufacturers CBM
- Electrical Testing Laboratories ETL
- Electronic Industries Association EIA
- Illuminating Engineering Society of North America IESNA
- Institute of Electrical and Electronics Engineers IEEE
- Insulated Power Cable Engineers Association IPCEA
- National Electrical Manufacturers Association NEMA
- International Electrical Testing Association NETA
- National Fire Protection Association NFPA
- Underwriters' Laboratories UL

Electrical System Criteria & Requirements

Design Voltage Selection

The building capacity will increase by approximately 22,600 square feet. We anticipate the electrical load will be approximately 16 watts per square foot, for an added load of approximately 361 kW, 1005 amps at 120/208V, 3 phase.

As previously noted, the existing service is 2500A, 120/208V, 3 phase, 4 wire. Breakers are typically rated at 80% of their listed value for long continuous loads (3 hours or longer). The existing breaker loading should be limited to 2,000 amps.

The existing documents indicated a connected load of 1,880 amps on the existing electrical board.

Based on preliminary information, we recommend increasing the existing Campus service to a 4000A, 208/120V, 3 Phase, 4-wire system.

Our office has requested the utility metered information. Depending on the peak demand rating, the existing service may be suitable to allow the new structures. Our office will update the recommendation when this information is received.

Electrical Distribution

Southern California Edison utility will likely require an upgrade to its pad-mount transformer pending load calculations on its equipment. Any shutdown is anticipated to be three days or less and would be exclusive of the District's Upgrade Project. The timeline for SCE to provide their work order is 8-10 weeks after load information has been provided.

Panelboards

To energize the new HVAC and receptacle loads, each main building (2) 208Y/120V panelboards. One panelboard to serve new HVAC, and the other to serve the receptacles and supplementary power loads. Proposed location will be in storage rooms.

Individual panelboards shall have door-in-door construction with up to 42-poles, and copper bussing, unless otherwise noted in single line diagram. Where panels are surface-mounted, skirt hardware to floor shall be included. AIC ratings will be based on the calculated fault currents. Proposed manufacturers are: Square D.

Conduit and Wiring

The electrical design will be based on using the following conduit types: galvanized rigid steel (GRS) conduit in exterior; rigid non- metallic conduit (PVC) for all underground exterior work; electrical metallic tubing (EMT) for interior concealed work or above eight feet exposed; flexible metal conduit for interior work in short lengths (less than 6') for the connection of recessed lighting fixtures, motors, separate building structures and any vibrating equipment; liquid tight flexible metal conduit wherever moisture may be present. All wires shall be copper.

Equipment Connections

Electrical power connections will be made to all mechanical equipment, projectors, etc. Additional circuiting provisions include associated devices such as disconnect switches, contactors, magnetic or manual starters, lock-out switches, etc. which are not furnished under the mechanical sections. Wiring below 120V will be accommodated by the respective mechanical and plumbing trades, and their provided systems.

G rounding

A grounding system shall be provided at the Main Electrical Service. A separate green ground wire shall be provided for all new feeders & branch circuits. Grounding feeders shall be sized as per CEC and district requirements.

Classroom Power

Power to new projectors will be provided by new ceiling-mounted or wall-mounted receptacles as determined by projector location. Any existing wall-mounted electronic devices will be relocated to an accessible part of the wall if there are conflicts with the new ceiling. Any existing devices on the ceiling that need to remain will be relocated to the new ceiling. Additional receptacle power shall be added to maintain an (2) receptacle per wall minimum. Dedicated power for laptop charging carts shall be added and location shall be coordinated with the district.

Lighting

Classroom Lighting

New recessed and surface-mounted LED lighting will be provided to the facility; recently installed LED fixtures shall be maintained. New Title 24 compliant controls will be added that includes local to each space with dimming, automatic shut-off via vacancy sensors, and daylight controls via photocell. Controls will be achieved through a distributed, system of low-voltage relays and sensors, with CAT-6 cable utilized for control wiring. When possible, light fixtures will be specified with integral relays to reduce field installation. Lighting levels in Classrooms will be designed for the following:

• Average maintained 35 to 50 foot-candles at the horizontal work surface, with a minimum of 25 foot-candles at any point more than 3 feet from any wall.



Lighting Fixtures and Control Devices

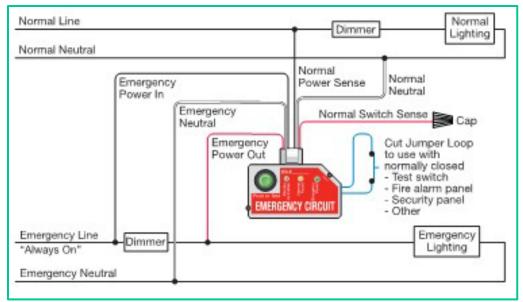
Corridor Lighting

Lighting in corridors will be replaced with LED fixtures in place and the corridor controls upgraded to comply with Title 24.

Emergency, Standby Power, and Egress Lighting Design

Emergency Egress Lighting

Emergency power will be provided for all code-required equipment. A central lighting inverter shall be included to provide power to egress and emergency lights when utility power is lost. Egress and Emergency lighting shall be controlled via UL924 relays.



UL 924 Relay Wiring Diagram

Fire Alarm Basis of Design

A modified fully automatic, addressable voice/evacuation system will be provided at all buildings on site that are being renovated, per current 2022 CBC and NFPA 72-2022 requirements. The system will include strobes, speaker/strobes, pull stations as well as other required notification and initiating devices. The manufacturer shall be Notifier per District Standards.

The fire alarm system will have dedicated emergency battery backup for 24 hours in supervisory mode, followed by 15 minutes at full alarm.

Photovoltaic (PV) and Battery Energy Storage Systems (BESS)

Current code requires new buildings to install photovoltaic and potentially battery storage systems.

A new roof mounted PV system will be provided to meet the code minimum requirements.

Our office anticipates, using the Performance method, that BESS will not be required. The performance method calculation includes the Building Envelope, Mechanical System, Lighting System, PV, and BESS. If the envelope, mechanical, lighting, and PV systems are efficient enough, BESS is not required.

12.A APPENDIX

<u>Quick Start Projects – Drinking Fountain Assessment</u>



1st Floor Plan



2nd Floor Plan

Drinking Fountain Locations



12.B APPENDIX

Survey drawings



4911 Birch St Newport Beach, CA 92660 Prelim Number:

FBSC2405134

Issuing Policies of Chicago Title Insurance Company

Order No.: FBSC2405134 Title Officer.: David James

TO: Email: CACTNBU@ctt.com
Phone No.: 949-724-3185
Fax No.: 949-209-1959

Escrow Officer:

Email:

Attn: J Braley

Irvine, CA 92618

Ref No.:

Linwood Howe

Phone No.: Fax No.:

Loan No.:

Property: Linwood Howe ES PTR, Culver City, CA 90232

In response to the application for a policy of title insurance referenced herein, **Chicago Title Company** hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a policy or policies of title insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of a defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules, Exclusions from Coverage, and Conditions of said policy forms.

With respect to any contemplated owner's policy, the printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said policy or policies are set forth in Attachment One. The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. Limitations on Covered Risks applicable to the CLTA/ALTA Homeowner's Policy of Title Insurance, which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Attachment One. Copies of the policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to herein and the exceptions and exclusions set forth in Attachment One of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a binder or commitment should be requested.

Countersigned By:

Authorized Officer or Agent Joe Goodman

Effective date: December 4, 2024 at 07:30 AM

The form of Policy or Policies of Title Insurance contemplated by this Report is:

PRELIM & BILL

1. The estate or interest in the Land hereinafter described or referred to covered by this Report is:

Fee Estate

2. Title to said estate or interest at the date hereof is vested in:

Culver City Unified School District, (which acquired title variously as the Culver City Unified School District, the Culver City School District of Los Angeles, the La Ballona School District of Los Angeles County, the Palm School District and the Los Angeles City School District of Los Angeles County)

3. The Land referred to in this Report is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

EXHIBIT A

Legal Description

For APN/Parcel ID(s): 4206-027-900 For Tax Map ID(s): 4206-027-900

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOTS 5, 7, 16, 17 AND 18 IN BLOCK 22 OF TRACT NO. 1775, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN <u>BOOK 21 PAGES 190</u> AND 191 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

LOTS 8, 9, 19 AND 20 IN BLOCK 22 OF TRACT NO. 1775, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN <u>BOOK 21 PAGES 190</u> AND 191 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 3:

LOTS 106, 107, 108, 109, 137, 138, 139 AND 140 OF NOLAN PARK TRACT, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN <u>BOOK 32 PAGE 45</u> OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

TOGETHER WITH THAT PORTION OF BRADDOCK DRIVE, BEING A 50 FOOT RIGHT OF WAY, BETWEEN VAN BUREN PLACE AND IRVING PLACE IN SAID CITY, AS SHOWN ON THE MAP OF NOLAN PARK TRACT IN <u>BOOK 32 PAGE 45</u> OF MAPS, WHICH IS VACATED BY AN ORDINANCE NO. CS-605, AND RECORDED AUGUST 29, 1968 AS <u>INSTRUMENT NO. 2021, OF OFFICIAL RECORDS</u>.

EXCEPTIONS

At the date hereof, items to be considered and exceptions to coverage in addition to the printed exceptions and exclusions in said policy form would be as follows:

- 1. Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the fiscal year 2025-2026.
- 2. There were no taxes levied for the fiscal year 2024-2025 as the property was vested in a public entity.

Tax Identification No.: 4206-027-900

- 3. The lien of supplemental or escaped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2, Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vestee named in Schedule A or as a result of changes in ownership or new construction occurring prior to Date of Policy.
- 4. Water rights, claims or title to water, whether or not disclosed by the public records.
- 5. Any interests (including rights of the public) in and to any portion of the Land lying within roads, streets, alleys or highways.
- 6. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: The Pacific Light and Power Corporation, a corporation

Purpose: a single line of pole

Recording No.: in <u>Book 6284 Page 261</u>, of Deeds
Affects: The rear 2 1/2 feet of Parcels 1 and 2.

7. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

Purpose: pole lines and conduits

Recording No: in <u>Book 6468 Page 22</u>, of Deeds The rear 2 1/2 feet of Parcel 1.

8. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

Purpose: pole lines

Recording No: in <u>Book 134 Page 209</u>, of Official Records Affects: The rear 2 1/2 feet of Lot 7 of Parcel 1.

9. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Southern Counties Gas Company of California, a corporation

Purpose: conduits

Recording No.: in Book 8228 Page 135, of Official Records

Affects: The rear 2 1/2 feet of Parcel 1.

10. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

Purpose: pole lines and conduits

Recording No: in <u>Book 7089 Page 205</u>, of Deeds
Affects: The rear 2 1/2 feet of Lot 16 of Parcel 1.

and Recording No.: in <u>Book 3142 Page 60</u>, of Official Records

Affects: The rear 2 1/2 feet of Lot 17 of Parcel 1.

and Recording No.: in <u>Book 7018 Page 284</u>, of Deeds

Affects: The rear 2 1/2 feet of Lot 18 of Parcel 1.

- 11. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including, but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable laws, as set forth in the document referred to in the numbered item last above shown.
- 12. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

Purpose: pole lines and conduits

Recording No: in <u>Book 3535 Page 315</u>, of Official Records The rear 2 1/2 feet of Lot 17 of Parcel 1.

13. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: Pax Land Company, a corporation

Purpose: electric light, power and telephone poles, water, gas and sewer pipes

Recording No.: in Book Book 6336 Page 221, of Deeds

Affects: Lot 8 of Parcel 2.

14. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document

Recording No.: in <u>Book 6897 Page 286</u>, of Deeds

15. The effect of a Grant Deed as set forth below:

Grantor: Camillo Cereghino and Marie Louise Cereghino (his wife)

Grantee: Henry F. Murphy and Mary A. Murphy (his wife) in <u>Book 2919 Page 294</u>, of Official Records

Affects: All of Lot 18 of Block 22 of Tract 1775, except the Easterly 10 feet thereof (of which the Easterly 2.5 feet has been granted to light, gas, power, water and sewer conveyance and entree) and the Westerly 7.5 feet of the Easterly 10 feet is herewith reserved by the vendor to be used for alley purposes.

16. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Southern California Edison Company, a corporation

Purpose: public utilities Recording Date: June 7, 1950

Recording No.: 2746, in Book 33323 Page 28, of Official Records
The Northeasterly 5 feet of Lots 16 and 17 of Parcel 1.

Reference is hereby made to said document for full particulars.

17. An oil and gas lease for the term therein provided with certain covenants, conditions and provisions, together with easements, if any, as set forth therein.

Dated: June 8, 1959

Lessor: Culver City Unified School District

Lessee: Continental Oil Company

Recording Date: June 19, 1959

Recording No.: 4514, in Book M303 Page 565, of Official Records

Said lease affects that portion of said Land lying below a depth of 500 feet from the surface thereof.

Said lease provides for no right of surface entry.

No insurance is made as to the present ownership of the leasehold created by said lease, nor as to other matters affecting the rights or interests of the lessor or lessee in said lease.

18. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: City of Culver City

Purpose: sanitary sewers and storm drains and appurtenant structures, gas pipelines, electric lines,

water pipelines and other utility purposes Recording Date: August 29, 1968

Recording No.: 2021, of Official Records

Affects: That portion of Braddock Drive (vacated).

19. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Los Angeles County Flood Control District, a body corporate and politic

Purpose: covered storm drain and appurtenant structures

Recording Date: April 12, 1973

Recording No.: 3574, of Official Records

Affects: Parcel 3, as more fully described therein.

20. A notice that said Land is included within a project area of the Redevelopment Agency shown below, and that proceedings for the redevelopment of said project have been instituted under the Redevelopment Law (such redevelopment to proceed only after the adoption of the redevelopment plan) as disclosed by a document

Recording Date: November 26, 1975

Recording No.: 4313, of Official Records

Redevelopment Agency: City of Culver City

21. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Southern California Edison Company, a corporation

Purpose: public utilities Recording Date: March 15, 1983

Recording No.: 83-286935, of Official Records

Affects: The Northwesterly 3 feet of Lot 16 of Parcel 1.

Limitations on the use, by the owners of said Land, of the easement area as set forth in the easement document shown hereinabove.

Reference is hereby made to said document for full particulars.

22. A Site Lease with certain terms, covenants, conditions and provisions set forth therein.

Dated: March 1, 1997

Lessor: Culver City Unified School District

Lessee: Alameda-Contra Costa Schools Financing Authority

Recording Date: April 8, 1997

Recording No.: 97-528437, of Official Records

The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.

Affects: The herein described Land and other land.

23. A sublease with certain terms, covenants, conditions and provisions set forth therein.

Dated: March 1, 1997

Sublessor: Alameda-Contra Costa Schools Financing Authority

Sublessee: Culver City Unified School District

Recording Date: April 8, 1997

Recording No.: 97-528438, of Official Records

The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.

24. Matters contained in that certain document

Entitled: Assignment Agreement

Dated: March 1, 1997

Executed by: Alameda-Contra Costa Schools Financing Authority and First Trust of California, National

Association

Recording Date: April 8, 1997

Recording No.: 97-528439, of Official Records

Reference is hereby made to said document for full particulars.

25. A notice that said Land is included within a project area of the Redevelopment Agency shown below, and that proceedings for the redevelopment of said project have been instituted under the Redevelopment Law (such redevelopment to proceed only after the adoption of the redevelopment plan) as disclosed by a document

Recording Date: November 24, 1998

Recording No.: 98-2155318, of Official Records

Redevelopment Agency: City of Culver City

26. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other matters shown on

Map: Record of Survey

Recording No.: in Book 164 Pages 5 to 8, inclusive of Records of Survey

Affects: Parcel 3

- 27. Please be advised that our search did not disclose any open Deeds of Trust of record. If you should have knowledge of any outstanding obligation, please contact the Title Department immediately for further review prior to closing.
- 28. Any easements not disclosed by those public records which impart constructive notice as to matters affecting title to real property and which are not visible and apparent from an inspection of the surface of said land.
- 29. Discrepancies, conflicts in boundary lines, shortage in area, encroachments or any other facts which a correct survey would disclose, and which are not shown by the public records.
- 30. Matters which may be disclosed by an inspection and/or by a correct ALTA/NSPS Land Title Survey of said Land that is satisfactory to the Company, and/or by inquiry of the parties in possession thereof.
- 31. Any rights of the parties in possession of a portion of, or all of, said Land, which rights are not disclosed by the public records.

The Company will require, for review, a full and complete copy of any unrecorded agreement, contract, license and/or lease, together with all supplements, assignments and amendments thereto, before issuing any policy of title insurance without excepting this item from coverage.

The Company reserves the right to except additional items and/or make additional requirements after reviewing said documents.

END OF EXCEPTIONS

PLEASE REFER TO THE "INFORMATIONAL NOTES" AND "REQUIREMENTS" SECTIONS WHICH FOLLOW FOR INFORMATION NECESSARY TO COMPLETE THIS TRANSACTION.

REQUIREMENTS

1. Unrecorded matters which may be disclosed by an Owner's Affidavit or Declaration. A form of the Owner's Affidavit/Declaration is attached to this Preliminary Report/Commitment. This Affidavit/Declaration is to be completed by the record owner of the land and submitted for review prior to the closing of this transaction. Your prompt attention to this requirement will help avoid delays in the closing of this transaction. Thank you.

The Company reserves the right to add additional items or make further requirements after review of the requested Affidavit/Declaration.

2. This Company will require evidence of compliance with the statutory limitations incident to the governmental agency named below, with reference to any conveyance of an interest in the Land this Company will be asked to record and/or rely upon in the issuance of any form of title insurance.

Governmental agency: Culver City Unified School District

END OF REQUIREMENTS

INFORMATIONAL NOTES

- 1. Note: None of the items shown in this report will cause the Company to decline to attach ALTA Endorsement Form 9 to an Extended Coverage Loan Policy, when issued.
- 2. Note: The Company is not aware of any matters which would cause it to decline to attach CLTA Endorsement Form 116 indicating that there is located on said Land Commercial Properties, known as Linwood Howe ES PTR, Culver City, CA, to an Extended Coverage Loan Policy.
- 3. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.
- 4. Pursuant to Government Code Section 27388.1, as amended and effective as of 1-1-2018, a Documentary Transfer Tax (DTT) Affidavit may be required to be completed and submitted with each document when DTT is being paid or when an exemption is being claimed from paying the tax. If a governmental agency is a party to the document, the form will not be required. DTT Affidavits may be available at a Tax Assessor-County Clerk-Recorder.
- 5. Note: The policy of title insurance will include an arbitration provision. The Company or the insured may demand arbitration. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the insured arising out of or relating to this policy, any service of the Company in connection with its issuance or the breach of a policy provision or other obligation. Please ask your escrow or title officer for a sample copy of the policy to be issued if you wish to review the arbitration provisions and any other provisions pertaining to your Title Insurance coverage.

- 6. The following Exclusion(s) are added to preliminary reports, commitments and will be included as an endorsement in the following policies:
 - A. 2006 ALTA Owner's Policy (06-17-06).
 - Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the Public Records but that would be disclosed by an examination of any records maintained by or on behalf of a Tribe or on behalf of its members.
 - B. 2006 ALTA Loan Policy (06-17-06)
 - 8. Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the Public Records but that would be disclosed by an examination of any records maintained by or on behalf of a Tribe or on behalf of its members.
 - Any claim of invalidity, unenforceability, or lack of priority of the lien of the Insured Mortgage based on the application of a Tribe's law resulting from the failure of the Insured Mortgage to specify State law as the governing law with respect to the lien of the Insured Mortgage.
 - C. ALTA Homeowner's Policy of Title Insurance (12-02-13) and CLTA Homeowner's Policy of Title Insurance (12-02-13).
 - 10. Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the Public Records but that would be disclosed by an examination of any records maintained by or on behalf of a Tribe or on behalf of its members.
 - D. ALTA Expanded Coverage Residential Loan Policy Assessments Priority (04-02-15).
 - 12. Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the Public Records but that would be disclosed by an examination of any records maintained by or on behalf of a Tribe or on behalf of its members.
 - 13. Any claim of invalidity, unenforceability, or lack of priority of the lien of the Insured Mortgage based on the application of a Tribe's law resulting from the failure of the Insured Mortgage to specify State law as the governing law with respect to the lien of the Insured Mortgage.
 - E. CLTA Standard Coverage Policy 1990 (11-09-18).
 - 7. Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the public records but that would be disclosed by an examination of any records maintained by or on behalf of a tribe or on behalf of its members.
 - 8. Any claim of invalidity, unenforceability, or lack of priority of the lien of the insured mortgage based on the application of a tribe's law resulting from the failure of the insured mortgage to specify state law as the governing law with respect to the lien of the insured mortgage.
- 7. Note: There are NO conveyances affecting said Land recorded within 24 months of the date of this report.

END OF INFORMATIONAL NOTES

WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice. If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- ALWAYS VERIFY wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. DO NOT use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. Obtain the number of relevant parties to the transaction as soon as an escrow account is opened. DO NOT send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:

http://www.fbi.gov

Internet Crime Complaint Center:

http://www.ic3.gov

Wire Fraud Alert Original Effective Date: 5/11/2017 Current Version Date: 5/11/2017

FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Effective January 1, 2025

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g., Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g., loan or bank account information);
- biometric data (e.g., fingerprints, retina or iris scans, voiceprints, or other unique biological characteristics; and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

<u>Web Beacons</u>. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

<u>Links to Other Sites</u>. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for these main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To prevent and detect fraud;
- To maintain the security of our systems, tools, accounts, and applications;
- To verify and authenticate identities and credentials;
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.
- To provide reviews and testimonials about our services, with your consent.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to affiliated or nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to affiliated or nonaffiliated third parties with whom we perform joint marketing, pursuant to an agreement with them to
 jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

State-Specific Consumer Privacy Information:

For additional information about your state-specific consumer privacy rights, to make a consumer privacy request, or to appeal a previous privacy request, please follow the link Privacy Request, or email privacy@fnf.com or call (888) 714-2710.

Certain state privacy laws require that FNF disclose the categories of third parties to which FNF may disclose the Personal Information and Browsing Information listed above. Those categories are:

- FNF affiliates and subsidiaries;
- Non-affiliated third parties, with your consent;
- Business in connection with the sale or other disposition of all or part of the FNF business and/or assets;
- Service providers;
- Law endorsement or authorities in connection with an investigation, or in response to a subpoena or court order.

<u>For California Residents</u>: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (<u>fnf.com/california-privacy</u>) or call (888) 413-1748.

<u>For Nevada Residents</u>: We are providing this notice pursuant to state law. You may be placed on our internal Do Not Call List by calling FNF Privacy at (888) 714-2710 or by contacting us via the information set forth at the end of this Privacy Notice. For further information concerning Nevada's telephone solicitation law, you may contact: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: aginguiries@ag.state.nv.us.

<u>For Oregon Residents</u>: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes. For additional information about your Oregon consumer privacy rights, or to make a consumer privacy request, or appeal a previous privacy request, please email privacy@fnf.com or call (888) 714-2710

FNF is the controller of the following businesses registered with the Secretary of State in Oregon:

Chicago Title Company of Oregon, Fidelity National Title Company of Oregon, Lawyers Title of Oregon, LoanCare, Ticor, Title Company of Oregon, Western Title & Escrow Company, Chicago Title Company, Chicago Title Insurance Company, Commonwealth Land Title Insurance Company, Fidelity National Title Insurance Company, Liberty Title & Escrow, Novare National Settlement Service, Ticor Title Company of California, Exos Valuations, Fidelity & Guaranty Life, Insurance Agency, Fidelity National Home Warranty Company, Fidelity National Management Services, Fidelity Residential Solutions, FNF Insurance Services, FNTG National Record Centers, IPEX, Mission Servicing Residential, National Residential Nominee Services, National Safe Harbor Exchanges, National Title Insurance of New York, NationalLink Valuations, NexAce Corp., ServiceLink Auction, ServiceLink Management Company, ServiceLink Services, ServiceLink Title Company of Oregon, ServiceLink Valuation Solutions, Western Title & Escrow Company

<u>For Vermont Residents</u>: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do <u>not</u> collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice: Notice Changes

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

Accessing and Correcting Information; Contact Us

If you have questions or would like to correct your Personal Information, visit FNF's <u>Privacy Request</u> website or contact us by phone at (888) 714-2710, by email at <u>privacy@fnf.com</u>, or by mail to:

Fidelity National Financial, Inc. 601 Riverside Avenue, Jacksonville, Florida 32204 Attn: Chief Privacy Officer

Privacy Statement SCA0003004.doc

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ATTACHMENT ONE

CALIFORNIA LAND TITLE ASSOCIATION STANDARD COVERAGE POLICY - 1990 (11-09-18)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

- 1. (a) Any law, ordinance or governmental regulation (including but not limited to building or zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien, or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
 - (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
- 2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
- 3. Defects, liens, encumbrances, adverse claims or other matters:
 - (a) whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured claimant;
 - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
 - (c) resulting in no loss or damage to the insured claimant;
 - (d) attaching or created subsequent to Date of Policy; or
 - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
- 4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with the applicable doing business laws of the state in which the land is situated.
- 5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
- 6. Any claim, which arises out of the transaction vesting in the insured the estate or interest insured by this policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

EXCEPTIONS FROM COVERAGE - SCHEDULE B, PART I

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- 1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
 - Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
- 2. Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
- 3. Easements, liens or encumbrances, or claims thereof, not shown by the public records.
- 4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
- 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
- 6. Any lien or right to a lien for services, labor or material unless such lien is shown by the public records at Date of Policy.

EXCEPTIONS FROM COVERAGE - SCHEDULE B, PART II

(Variable exceptions such as taxes, easements, CC&R's, etc., are inserted here)

ATTACHMENT ONE (CONTINUED)

CALIFORNIA LAND TITLE ASSOCIATION STANDARD COVERAGE OWNER'S POLICY (02-04-22)

EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - i. the occupancy, use, or enjoyment of the Land;
 - ii. the character, dimensions, or location of any improvement on the Land;
 - iii. the subdivision of land; or
 - iv. environmental remediation or protection.
 - b. any governmental forfeiture, police, regulatory, or national security power.
 - c. the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.

Exclusion 1 does not modify or limit the coverage provided under Covered Risk 5 or 6.

- 2. Any power of eminent domain. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 7.
- 3. Any defect, lien, encumbrance, adverse claim, or other matter:
 - a. created, suffered, assumed, or agreed to by the Insured Claimant:
 - b. not Known to the Company, not recorded in the Public Records at the Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - c. resulting in no loss or damage to the Insured Claimant;
 - d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 9 or 10); or
 - e. resulting in loss or damage that would not have been sustained if consideration sufficient to qualify the Insured named in Schedule A as a bona fide purchaser had been given for the Title at the Date of Policy.
- 4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transaction vesting the Title as shown in Schedule A is a:
 - a. fraudulent conveyance or fraudulent transfer;
 - b. voidable transfer under the Uniform Voidable Transactions Act; or
 - c. preferential transfer:
 - i. to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
 - i. for any other reason not stated in Covered Risk 9.b.
- 5. Any claim of a PACA-PSA Trust. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 8.
- 6. Any lien on the Title for real estate taxes or assessments imposed or collected by a governmental authority that becomes due and payable after the Date of Policy.
 - Exclusion 6 does not modify or limit the coverage provided under Covered Risk 2.b.
- 7 Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

EXCEPTIONS FROM COVERAGE

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This policy treats any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document are excepted from coverage.

This policy does not insure against loss or damage and the Company will not pay costs, attorneys' fees, or expenses resulting from the terms and conditions of any lease or easement identified in Schedule A, and the following matters:

PART

- (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real
 property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings,
 whether or not shown by the records of such agency or by the Public Records.
- 2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land, or (b) asserted by persons or parties in possession of the Land.
- 3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
- 4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
- 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
- 6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.
- 7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

PART II

(Variable exceptions such as taxes, easements, CC&R's, etc., are inserted here)

ATTACHMENT ONE (CONTINUED)

CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (7-01-21) EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy and We will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- 1. a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - i. the occupancy, use, or enjoyment of the Land;
 - ii. the character, dimensions, or location of any improvement on the Land;
 - iii. the subdivision of land; or
 - iv. environmental remediation or protection.
 - b. any governmental forfeiture, police, or regulatory, or national security power.
 - c. the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.
 - Exclusion 1 does not modify or limit the coverage provided under Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23, or 27.
- 2. Any power to take the Land by condemnation. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 17.
- 3. Any defect, lien, encumbrance, adverse claim, or other matter:
 - a. created, suffered, assumed, or agreed to by You:
 - b. not Known to Us, not recorded in the Public Records at the Date of Policy, but Known to You and not disclosed in writing to Us by You prior to the date You became an Insured under this policy;
 - c. resulting in no loss or damage to You;
 - d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 5, 8.f., 25, 26, 27, 28, or 32); or
 - e. resulting in loss or damage that would not have been sustained if You paid consideration sufficient to qualify You as a bona fide purchaser of the Title at the Date of Policy.
- Lack of a right:
 - a. to any land outside the area specifically described and referred to in Item 3 of Schedule A; and
 - b. in any street, road, avenue, alley, lane, right-of-way, body of water, or waterway that abut the Land.

Exclusion 4 does not modify or limit the coverage provided under Covered Risk 11 or 21.

- 5. The failure of Your existing structures, or any portion of Your existing structures, to have been constructed before, on, or after the Date of Policy in accordance with applicable building codes. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 14 or 15.
- 6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transfer of the Title to You is a:
 - a. fraudulent conveyance or fraudulent transfer;
 - b. voidable transfer under the Uniform Voidable Transactions Act; or
 - c. preferential transfer:
 - i. to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
 - i. for any other reason not stated in Covered Risk 30.
- 7. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake, or subsidence.
- 8. Negligence by a person or an entity exercising a right to extract or develop oil, gas, minerals, groundwater, or any other subsurface substance.
- 9. Any lien on Your Title for real estate taxes or assessments, imposed or collected by a governmental authority that becomes due and payable after the Date of Policy. Exclusion 9 does not modify or limit the coverage provided under Covered Risk 8.a or 27.
- 10. Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

 For Covered Risk 16, 18, 19 and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	Your Deductible Amount	Our Maximum Dollar Limit of Liability
Covered Risk 16:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 10,000.00
Covered Risk 18:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 19:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 21:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 5,000.00

CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (12-02-13) EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

- 1. Governmental police power, and the existence or violation of those portions of any law or government regulation concerning:
 - a. building;
 - b. zoning;
 - c. land use;
 - d. improvements on the Land;
 - e. land division: and
 - f. environmental protection.

This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.

- 2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
- 3. The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
- 4 Risks
 - a. that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records;
 - b. that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date;
 - that result in no loss to You; or
 - d. that first occur after the Policy Date this does not limit the coverage described in Covered Risk 7, 8.e., 25, 26, 27 or 28.
- 5. Failure to pay value for Your Title.
- 6. Lack of a right:
 - a. to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and
 - b. in streets, alleys, or waterways that touch the Land.

This Exclusion does not limit the coverage described in Covered Risk 11 or 21.

- 7. The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.
- 8. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake or subsidence.
- 9. Negligence by a person or an Entity exercising a right to extract or develop minerals, water, or any other substances.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

 For Covered Risk 16, 18, 19 and 21, Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	Your Deductible Amount	Our Maximum Dollar Limit of Liability
Covered Risk 16:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 10,000.00
Covered Risk 18:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 19:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 21:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 5,000.00

ALTA OWNER'S POLICY (07-01-2021)

EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - i. the occupancy, use, or enjoyment of the Land;
 - ii. the character, dimensions, or location of any improvement on the Land;
 - iii. the subdivision of land; or
 - iv. environmental remediation or protection.
 - b. any governmental forfeiture, police, regulatory, or national security power.
 - c. the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.

Exclusion 1 does not modify or limit the coverage provided under Covered Risk 5 or 6.

- 2. Any power of eminent domain. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 7.
- 3. Any defect, lien, encumbrance, adverse claim, or other matter:
 - a. created, suffered, assumed, or agreed to by the Insured Claimant:
 - b. not Known to the Company, not recorded in the Public Records at the Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - c. resulting in no loss or damage to the Insured Claimant;
 - d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 9 or 10): or
 - e. resulting in loss or damage that would not have been sustained if consideration sufficient to qualify the Insured named in Schedule A as a bona fide purchaser had been given for the Title at the Date of Policy.
- 4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transaction vesting the Title as shown in Schedule A is a:
 - a. fraudulent conveyance or fraudulent transfer;
 - b. voidable transfer under the Uniform Voidable Transactions Act; or
 - c. preferential transfer:
 - i. to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
 - ii. for any other reason not stated in Covered Risk 9.b.
- 5. Any claim of a PACA-PSA Trust. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 8.
- 6. Any lien on the Title for real estate taxes or assessments, imposed or collected by a governmental authority that becomes due and payable after the Date of Policy. Exclusion 6 does not modify or limit the coverage provided under Covered Risk 2.b.
- 7. Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

EXCEPTIONS FROM COVERAGE

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This policy treats any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document are excepted from coverage.

This policy does not insure against loss or damage and the Company will not pay costs, attorneys' fees, or expenses resulting from the terms and conditions of any lease or easement identified in Schedule A, and the following matters:

NOTE: The 2021 ALTA Owner's Policy may be issued to afford either Standard Coverage or Extended Coverage. In addition to variable exceptions such as taxes, easements, CC&R's, etc., the Exceptions from Coverage in a Standard Coverage policy will also include the Western Regional Standard Coverage Exceptions listed as 1 through 7 below:

- 1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- 2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land or (b) asserted by persons or parties in possession of the Land.
- 3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
- 4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
- 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
- 6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.
- 7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

2006 ALTA OWNER'S POLICY (06-17-06)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;

or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.

- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- 3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
- 4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
- 5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees, or expenses that arise by reason of:

NOTE: The 2006 ALTA Owner's Policy may be issued to afford either Standard Coverage or Extended Coverage. In addition to variable exceptions such as taxes, easements, CC&R's, etc., the Exceptions from Coverage in a Standard Coverage policy will also include the Western Regional Standard Coverage Exceptions listed below as 1 through 7 below:

- 1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- 2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land, or (b) asserted by persons or parties in possession of the Land.
- 3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
- 4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
- 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
- 6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.]
- 7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

Notice of Available Discounts

Pursuant to Section 2355.3 in Title 10 of the California Code of Regulations Fidelity National Financial, Inc. and its subsidiaries ("FNF") must deliver a notice of each discount available under our current rate filing along with the delivery of escrow instructions, a preliminary report or commitment. Please be aware that the provision of this notice does not constitute a waiver of the consumer's right to be charged the filed rate. As such, your transaction may not qualify for the below discounts.

You are encouraged to discuss the applicability of one or more of the below discounts with a Company representative. These discounts are generally described below; consult the rate manual for a full description of the terms, conditions and requirements for such discount. These discounts only apply to transactions involving services rendered by the FNF Family of Companies. This notice only applies to transactions involving property improved with a one-to-four family residential dwelling.

Not all discounts are offered by every FNF Company. The discount will only be applicable to the FNF Company as indicated by the named discount.

FNF Underwritten Title Company

CTC - Chicago Title Company

CLTC - Commonwealth Land Title Company

FNTC - Fidelity National Title Company

FNTCCA - Fidelity National Title Company of California FNTIC - Fidelity National Title Insurance Company

TICOR - Ticor Title Company of California

LTC - Lawyer's Title Company

SLTC - ServiceLink Title Company

Underwritten by FNF Underwriters

CTIC - Chicago Title Insurance Company

CLTIC - Commonwealth Land Title Insurance Company

FNTIC - Fidelity National Title Insurance Company

CTIC - Chicago Title Insurance Company

CLTIC - Commonwealth Land Title Insurance Company

CTIC - Chicago Title Insurance Company

Available Discounts

DISASTER LOANS (CTIC, CLTIC, FNTIC)

The charge for a Lender's Policy (Standard or Extended coverage) covering the financing or refinancing by an owner of record, within twenty-four (24) months of the date of a declaration of a disaster area by the government of the United States or the State of California on any land located in said area, which was partially or totally destroyed in the disaster, will be fifty percent (50%) of the appropriate title insurance rate.

CHURCHES OR CHARITABLE NON-PROFIT ORGANIZATIONS (CTIC, CLTIC, FNTIC)

On properties used as a church or for charitable purposes within the scope of the normal activities of such entities, provided said charge is normally the church's obligation the charge for an owner's policy shall be fifty percent (50%) to seventy percent (70%) of the appropriate title insurance rate, depending on the type of coverage selected. The charge for a lender's policy shall be forty percent (40%) to fifty percent (50%) of the appropriate title insurance rate, depending on the type of coverage selected.

MILITARY DISCOUNT RATE (CTIC, CLTIC, FNTIC)

Upon the Company being advised in writing and prior to the closing of the transaction that an active duty, honorably separated, or retired member of the United States Military or Military Reserves or National Guard is acquiring or selling an owner occupied one-to-four family property, the selling owner or acquiring buyer, as applicable, will be entitled to a discount equal to fifteen percent (15%) of the otherwise applicable rates such party would be charged for title insurance policies. Minimum charge: Four Hundred Twenty-Five And No/100 Dollars (\$425.00)

The Company may require appropriate proof of eligibility from the parties to the transaction verifying they are entitled to the discount as described. No other discounts or special rates, or combination of discounts or special rates, shall be applicable.

MILITARY RATE (SLTC)

A discount of twenty percent (20%) off the purchase transaction closing and settlement fee or a discount of One Hundred And No/100 Dollars (\$100.00) off the refinance closing and settlement fee, will be applied when the loan is guaranteed by the United States Veterans Administration and the escrow fee is being paid by the consumer and is listed as paid by borrower on the Closing Disclosure and final Settlement Statement.



4911 Birch St Newport Beach, CA 92660 Prelim Number:

FBSC2405131

Issuing Policies of Chicago Title Insurance Company

Order No.: FBSC2405131 Title Officer.: David James

TO: Email: CACTNBU@ctt.com
Phone No.: 949-724-3185

Fax No.: 949-209-1959

133 Technology Drive, Suite 200
Irvine, CA 92618
Escrow Officer:

Email:

Attn: J Braley Ref No.:

L

Linwood Howe Phone No.: Fax No.:

Loan No.:

Property: 4100 Irving Place, Culver City, CA 90232

In response to the application for a policy of title insurance referenced herein, **Chicago Title Company** hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a policy or policies of title insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of a defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules, Exclusions from Coverage, and Conditions of said policy forms.

With respect to any contemplated owner's policy, the printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said policy or policies are set forth in Attachment One. The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. Limitations on Covered Risks applicable to the CLTA/ALTA Homeowner's Policy of Title Insurance, which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Attachment One. Copies of the policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to herein and the exceptions and exclusions set forth in Attachment One of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a binder or commitment should be requested.

Countersigned By:

Authorized Officer or Agent Joe Goodman Effective date: December 5, 2024 at 07:30 AM

The form of Policy or Policies of Title Insurance contemplated by this Report is:

1. The estate or interest in the Land hereinafter described or referred to covered by this Report is:

A Fee.

2. Title to said estate or interest at the date hereof is vested in:

Culver City Unified School District (which acquired title as The Culver City School District of Los Angeles County, Culver City School District of Los Angeles County and Culver City School District)

3. The Land referred to in this Report is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

EXHIBIT A

Legal Description

For APN/Parcel ID(s): 4206-026-906 For Tax Map ID(s): 4206-026-906

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOTS 110, 111, 112, 113, 114, 141, 142, 143, 144 AND 145 OF NOLAN PARK TRACT, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN <u>BOOK 32, PAGE 45</u>, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

TOGETHER WITH THAT PORTION OF THE ALLEY LYING PARALLEL TO IRVING PLACE AND VAN BUREN PLACE, ABUTTING LOTS 110, 111, 112, 141, 142 AND 143 OF SAID NOLAN PARK TRACT, AS VACATED BY THAT CERTAIN ORDINANCE NO. CS-297, FILED NOVEMBER 12, 1957, WHICH WOULD PASS BY OPERATION OF LAW UPON CONVEYANCE OF SAID LAND.

ALSO, TOGETHER WITH THAT PORTION OF THE ALLEY LYING PARALLEL TO IRVING PLACE AND VAN BUREN PLACE, ABUTTING LOTS 113, 114, 144 AND 145 OF SAID NOLAN PARK TRACT, AS VACTED BY THAT CERTAIN ORDINANCE NO. CS-552, RECORDED APRIL 12, 1967, AS <u>INSTRUMENT NO. 1978, OFFICIAL RECORDS</u>, WHICH WOULD PASS BY OPERATION OF LAW UPON CONVEYANCE OF SAID LAND.

ALSO, TOGETHER WITH THAT PORTION OF THE SOUTHEASTERLY HALF OF BRADDOCK DRIVE, VACATED BY THAT CERTAIN ORDINANCE NO. CS-605, RECORDED AUGUST 29, 1968, AS <u>INSTRUMENT NO. 2021, OFFICIAL</u> RECORDS, WHICH WOULD PASS BY OPERATION OF LAW UPON CONVEYANCE OF SAID LAND.

EXCEPTING FROM SAID LOT 144, ALL CRUDE OIL, PETROLEUM, GAS, BREA, ASPHALTUM AND ALL KINDRED SUBSTANCES AND OTHER MINERALS UNDER AND IN SAID LAND BELOW 500 FEET, WITHOUT RIGHT OF SURFACE ENTRY, AS RESERVED BY WILLIAM H. PERRY, A SINGLE MAN, IN DEED RECORDED MARCH 2, 1967, AS INSTRUMENT NO. 252, OFFICIAL RECORDS.

NOTE: THIS COMPANY HAS PROVIDED SAID DESCRIPTION AS AN ACCOMMODATION FOR THE PURPOSE OF FACILITATING THIS REPORT. PURSUANT TO THE SUBDIVISION MAP ACT OF THE STATE OF CALIFORNIA, SAID DESCRIPTION MAY NOT BE AN INSURABLE PARCEL AND SHOULD NOT BE RELIED UPON TO CONVEY, FINANCE OR ENCUMBER SAID LAND UNTIL APPROVED BY THE APPROPRIATE GOVERNING AGENCY.

EXCEPTIONS

At the date hereof, items to be considered and exceptions to coverage in addition to the printed exceptions and exclusions in said policy form would be as follows:

1. There were no taxes levied for the fiscal year 2024-2025 as the property was vested in a public entity.

Tax Identification No.: 4206-026-906

- 2. The lien of supplemental or escaped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2, Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vestee named in Schedule A or as a result of changes in ownership or new construction occurring prior to Date of Policy.
- 3. Water rights, claims or title to water, whether or not disclosed by the public records.
- 4. Rights of the public to any portion of the Land lying within roads, streets, alleys or highways.
- 5. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: Title Insurance and Trust Company, a corporation

Purpose: telephone and electric poles

Recording Date: April 16, 1917

Recording No.: in Book 6465, Page 207, Deeds

Affects: the rear 3 feet of Lot 145

6. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including, but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable laws, as set forth in the document referred to in the numbered item last above shown.

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or deed of trust made in good faith and for value.

7. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: Title Insurance and Trust Company, a corporation

Purpose: telephone and electric poles

Recording Date: February 27, 1920

Recording No.: in <u>Book 7135</u>, <u>Page 29</u>, Deeds Affects: the rear 3 feet of Lot 142

8. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including, but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable laws, as set forth in the document referred to in the numbered item last above shown.

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or deed of trust made in good faith and for value.

9. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: Title Insurance and Trust Company, a corporation

Purpose: telephone and electric poles

Recording Date: July 12, 1920

Recording No.: in <u>Book 7277, Page 298</u>, Deeds

Affects: the rear 3 feet of Lot 110

10. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including, but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable laws, as set forth in the document referred to in the numbered item last above shown.

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or deed of trust made in good faith and for value.

11. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: Title Insurance and Trust Company, a corporation

Purpose: telephone and electric poles

Recording Date: October 23, 1920

Recording No.: in <u>Book 7464, Page 22</u>, Deeds the rear 3 feet of Lot 114

12. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including, but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable laws, as set forth in the document referred to in the numbered item last above shown.

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or deed of trust made in good faith and for value.

13. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: Title Insurance and Trust Company, a corporation

Purpose: telephone and electric poles

Recording Date: January 4, 1921

Recording No.: in <u>Book 49</u>, <u>Page 8</u>, Official Records

Affects: the rear 3 feet of Lot 112

14. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including, but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable laws, as set forth in the document referred to in the numbered item last above shown.

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or deed of trust made in good faith and for value.

15. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: Title Insurance and Trust Company, a corporation

Purpose: telephone and electric poles

Recording Date: January 12, 1921

Recording No.: in <u>Book 37</u>, <u>Page 58</u>, Official Records

Affects: the rear 3 feet of Lot 113

16. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including, but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable laws, as set forth in the document referred to in the numbered item last above shown.

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or deed of trust made in good faith and for value.

17. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: Title Insurance and Trust Company, a corporation

Purpose: telephone and electric poles

Recording Date: May 9, 1921

Recording No.: in Book 169, Page 204, Official Records

Affects: the rear 3 feet of Lot 111

18. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including, but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable laws, as set forth in the document referred to in the numbered item last above shown.

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or deed of trust made in good faith and for value.

19. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: Title Insurance and Trust Company, a corporation

Purpose: telephone and electric poles

Recording Date: November 3, 1921

Recording No.: in <u>Book 551, Page 236</u>, Official Records the rear 4 feet of Lots 141, 143 and 144

20. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including, but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable laws, as set forth in the document referred to in the numbered item last above shown.

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or deed of trust made in good faith and for value.

21. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Southern Counties Gas Company of California, a corporation

Purpose: gas pipes and mains Recording Date: March 28, 1922

Recording No.: in Book 974, Page 169, Official Records

Affects: a portion of Lot 112

22. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: J. William Haskell Purpose: water pipe line Recording Date: March 23, 1923

Recording No.: in Book 2109, Page 138, Official Records

Affects: the Westerly 2 feet of Lot 111

23. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Purpose: sewer and gas lines Recording Date: March 23, 1923

Recording No.: in <u>Book 2109</u>, <u>Page 138</u>, Official Records

Affects: the Easterly 2 feet of Lot 111

24. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Gwyneth Lundy
Purpose: water pipe lines
Recording Date: March 4, 1931

Recording No.: in Book 10721, Page 110, Official Records

Affects: a portion of Lot 111

25. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Southern California Edison Company, a corporation

Purpose: underground electric system

Recording Date: December 10, 1948

Recording No.: in Book 28913, Page 309, Official Records

Affects: the Southeasterly 4 feet of Lot 143

26. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: City of Culver City

Purpose: sanitary sewers and storm drain

Recording Date: April 12, 1967

Recording No.: as Instrument No. 1978, Official Records

Affects: a portion of Lot 143 and a portion of vacated alley, abutting Lots 113, 114, 144 and 145

27. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: City of Culver City, a municipal corporation

Purpose: public alley Recording Date: April 14, 1967

Recording No.: as <u>Instrument No. 4025, Official Records</u>

Affects: a portion of Lot 145

28. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Southern California Edison Company, a corporation Purpose: underground electric lines and communication lines

Recording Date: September 6, 1967

Recording No.: as Instrument No. 2948, Official Records

Affects: a portion of Lot 143 and a portion of vacated alley, abutting Lots 113, 114, 144 and 145

29. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document;

Reserved by: City of Culver City

Purpose: sanitary sewers and storm drains

Recording Date: August 29, 1968

Recording No.: as <u>Instrument No. 2021, Official Records</u> that vacated portion of Braddock Drive

30. The Land described herein is included within a project area of the Redevelopment Agency shown below, and that proceedings for the redevelopment of said project have been instituted under the Redevelopment Law (such redevelopment to proceed only after the adoption of the Redevelopment Plan) as disclosed by a document.

Redevelopment Agency: City of Culver City Recording Date: November 26, 1975

Recording No.: as Instrument No. 4313, Official Records

Recording Date: November 24, 1998

Recording No.: as Instrument No. 98-2155318, Official Records

31. The Land described herein is included within a project area of the Redevelopment Agency shown below, and that proceedings for the redevelopment of said project have been instituted under the Redevelopment Law (such redevelopment to proceed only after the adoption of the Redevelopment Plan) as disclosed by a document.

Redevelopment Agency: City of Culver City and Urban Community Development Commission of the City of

Compton

Recording Date: December 19, 1991

Recording No.: as Instrument No. 91-1994295, Official Records

- 32. The description shown in Schedule A of this report may not be relied upon as an insurable parcel. This company has provided said description only as an accommodation for the purpose facilitating this report. A description approved by the appropriate governing agency must be submitted to this company for review prior to closing.
- 33. Any rights of the parties in possession of a portion of, or all of, said Land, which rights are not disclosed by the public records.

The Company will require, for review, a full and complete copy of any unrecorded agreement, contract, license and/or lease, together with all supplements, assignments and amendments thereto, before issuing any policy of title insurance without excepting this item from coverage.

The Company reserves the right to except additional items and/or make additional requirements after reviewing said documents.

- 34. Please be advised that our search did not disclose any open Deeds of Trust of record. If you should have knowledge of any outstanding obligation, please contact the Title Department immediately for further review prior to closing.
- 35. Any easements not disclosed by the public records as to matters affecting title to real property, whether or not said easements are visible and apparent.
- 36. Matters which may be disclosed by an inspection and/or by a correct ALTA/NSPS Land Title Survey of said Land that is satisfactory to the Company, and/or by inquiry of the parties in possession thereof.

END OF EXCEPTIONS

PLEASE REFER TO THE "INFORMATIONAL NOTES" AND "REQUIREMENTS" SECTIONS WHICH FOLLOW FOR INFORMATION NECESSARY TO COMPLETE THIS TRANSACTION.

REQUIREMENTS

1. Unrecorded matters which may be disclosed by an Owner's Affidavit or Declaration. A form of the Owner's Affidavit/Declaration is attached to this Preliminary Report/Commitment. This Affidavit/Declaration is to be completed by the record owner of the land and submitted for review prior to the closing of this transaction. Your prompt attention to this requirement will help avoid delays in the closing of this transaction. Thank you.

The Company reserves the right to add additional items or make further requirements after review of the requested Affidavit/Declaration.

2. This Company will require evidence of compliance with the statutory limitations incident to the governmental agency named below, with reference to any conveyance of an interest in the Land this Company will be asked to record and/or rely upon in the issuance of any form of title insurance.

Governmental agency: Culver City Unified School District

END OF REQUIREMENTS

INFORMATIONAL NOTES

- 1. Note: None of the items shown in this report will cause the Company to decline to attach ALTA Endorsement Form 9 to an Extended Coverage Loan Policy, when issued.
- 2. Note: The Company is not aware of any matters which would cause it to decline to attach CLTA Endorsement Form 116 indicating that there is located on said Land, a Commercial property, known as 4100 Irving Place, Culver City, CA, to an Extended Coverage Loan Policy.
- 3. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.
- 4. Pursuant to Government Code Section 27388.1, as amended and effective as of 1-1-2018, a Documentary Transfer Tax (DTT) Affidavit may be required to be completed and submitted with each document when DTT is being paid or when an exemption is being claimed from paying the tax. If a governmental agency is a party to the document, the form will not be required. DTT Affidavits may be available at a Tax Assessor-County Clerk-Recorder.
- 5. Note: The policy of title insurance will include an arbitration provision. The Company or the insured may demand arbitration. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the insured arising out of or relating to this policy, any service of the Company in connection with its issuance or the breach of a policy provision or other obligation. Please ask your escrow or title officer for a sample copy of the policy to be issued if you wish to review the arbitration provisions and any other provisions pertaining to your Title Insurance coverage.

- 6. The following Exclusion(s) are added to preliminary reports, commitments and will be included as an endorsement in the following policies:
 - A. 2006 ALTA Owner's Policy (06-17-06).
 - Defects, liens, encumbrances, adverse claims, notices, or other matters not
 appearing in the Public Records but that would be disclosed by an examination
 of any records maintained by or on behalf of a Tribe or on behalf of its members.
 - B. 2006 ALTA Loan Policy (06-17-06)
 - 8. Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the Public Records but that would be disclosed by an examination of any records maintained by or on behalf of a Tribe or on behalf of its members.
 - Any claim of invalidity, unenforceability, or lack of priority of the lien of the Insured Mortgage based on the application of a Tribe's law resulting from the failure of the Insured Mortgage to specify State law as the governing law with respect to the lien of the Insured Mortgage.
 - C. ALTA Homeowner's Policy of Title Insurance (12-02-13) and CLTA Homeowner's Policy of Title Insurance (12-02-13).
 - 10. Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the Public Records but that would be disclosed by an examination of any records maintained by or on behalf of a Tribe or on behalf of its members.
 - D. ALTA Expanded Coverage Residential Loan Policy Assessments Priority (04-02-15).
 - 12. Defects, liens, encumbrances, adverse claims, notices, or other matters not appearing in the Public Records but that would be disclosed by an examination of any records maintained by or on behalf of a Tribe or on behalf of its members.
 - 13. Any claim of invalidity, unenforceability, or lack of priority of the lien of the Insured Mortgage based on the application of a Tribe's law resulting from the failure of the Insured Mortgage to specify State law as the governing law with respect to the lien of the Insured Mortgage.
 - E. CLTA Standard Coverage Policy 1990 (11-09-18).
 - Defects, liens, encumbrances, adverse claims, notices, or other matters not
 appearing in the public records but that would be disclosed by an examination
 of any records maintained by or on behalf of a tribe or on behalf of its members.
 - 8. Any claim of invalidity, unenforceability, or lack of priority of the lien of the insured mortgage based on the application of a tribe's law resulting from the failure of the insured mortgage to specify state law as the governing law with respect to the lien of the insured mortgage.
- 7. Note: There are NO conveyances affecting said Land recorded within 24 months of the date of this report.

END OF INFORMATIONAL NOTES

WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice. If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- ALWAYS VERIFY wire instructions, specifically the ABA routing number and account number, by calling the party
 who sent the instructions to you. DO NOT use the phone number provided in the email containing the instructions,
 use phone numbers you have called before or can otherwise verify. Obtain the number of relevant parties to the
 transaction as soon as an escrow account is opened. DO NOT send an email to verify as the email address
 may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:

http://www.fbi.gov

Internet Crime Complaint Center:

http://www.ic3.gov

Wire Fraud Alert Original Effective Date: 5/11/2017 Current Version Date: 5/11/2017

FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Effective July 1, 2024

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information);
- biometric data (e.g. fingerprints, retina or iris scans, voiceprints, or other unique biological characteristics, and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

<u>Cookies</u>. When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

<u>Web Beacons</u>. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

<u>Links to Other Sites</u>. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for these main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To prevent and detect fraud;
- To maintain the security of our systems, tools, accounts, and applications;
- To verify and authenticate identities and credentials;
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.
- To provide reviews and testimonials about our services, with your consent.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to affiliated or nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to affiliated or nonaffiliated third parties with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

<u>For California Residents</u>: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (https://fnf.com/pages/californiaprivacy.aspx) or call (888) 413-1748.

<u>For Connecticut Residents</u>: For additional information about your Connecticut consumer privacy rights, or to make a consumer privacy request, or to appeal a previous privacy request, please email <u>privacy@fnf.com</u> or call (888) 714-2710.

<u>For Colorado Residents</u>: For additional information about your Colorado consumer privacy rights, or to make a consumer privacy request, or appeal a previous privacy request, please email <u>privacy@fnf.com</u> or call (888) 714-2710.

<u>For Nevada Residents</u>: We are providing this notice pursuant to state law. You may be placed on our internal Do Not Call List by calling FNF Privacy at (888) 714-2710 or by contacting us via the information set forth at the end of this Privacy Notice. For further information concerning Nevada's telephone solicitation law, you may contact: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: aginquiries@ag.state.nv.us.

<u>For Oregon Residents</u>: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes. For additional information about your Oregon consumer privacy rights, or to make a consumer privacy request, or appeal a previous privacy request, please email privacy@fnf.com or call (888) 714-2710

We may disclose the categories of Personal Information and Browsing information listed above to the following categories of third parties:

- FNF affiliates and subsidiaries;
- Non-affiliated third parties, with your consent;
- Business in connection with the sale or other disposition of all or part of the FNF business and/or assets;
- Service providers;
- Law endorsement or authorities in connection with an investigation, or in response to a subpoena or court order.

<u>For Texas Residents</u>: For additional information about your Texas consumer privacy rights, or to make a consumer privacy request, or appeal a previous privacy request, please email <u>privacy@fnf.com</u> or call (888) 714-2710.

We may disclose the categories of Personal Information and Browsing information listed above to the following categories of third parties:

- FNF affiliates and subsidiaries;
- Non-affiliated third parties, with your consent;
- Business in connection with the sale or other disposition of all or part of the FNF business and/or assets;
- Service providers;
- Law endorsement or authorities in connection with an investigation, or in response to a subpoena or court order.

<u>For Utah Residents</u>: For additional information about your Utah consumer privacy rights, or to make a consumer privacy request, please call (888) 714-2710.

<u>For Vermont Residents</u>: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

<u>For Virginia Residents</u>: For additional information about your Virginia consumer privacy rights, or to make a consumer privacy request, or appeal a previous privacy request, please email <u>privacy@fnf.com</u> or call (888) 714-2710.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do <u>not</u> collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or quardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

Accessing and Correcting Information; Contact Us

If you have questions or would like to correct your Personal Information, visit FNF's <u>Privacy Inquiry Website</u> or contact us by phone at (888) 714-2710, by email at <u>privacy@fnf.com</u>, or by mail to:

Fidelity National Financial, Inc. 601 Riverside Avenue, Jacksonville, Florida 32204 Attn: Chief Privacy Officer

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ATTACHMENT ONE

CALIFORNIA LAND TITLE ASSOCIATION STANDARD COVERAGE POLICY - 1990 (11-09-18)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

- 1. (a) Any law, ordinance or governmental regulation (including but not limited to building or zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien, or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
 - (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
- 2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
- 3. Defects, liens, encumbrances, adverse claims or other matters:
 - (a) whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured claimant;
 - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
 - (c) resulting in no loss or damage to the insured claimant;
 - (d) attaching or created subsequent to Date of Policy; or
 - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
- 4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with the applicable doing business laws of the state in which the land is situated.
- 5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
- 6. Any claim, which arises out of the transaction vesting in the insured the estate or interest insured by this policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

EXCEPTIONS FROM COVERAGE - SCHEDULE B. PART I

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
 - Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
- 2. Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
- 3. Easements, liens or encumbrances, or claims thereof, not shown by the public records.
- 4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
- 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
- 6. Any lien or right to a lien for services, labor or material unless such lien is shown by the public records at Date of Policy.

EXCEPTIONS FROM COVERAGE - SCHEDULE B, PART II

(Variable exceptions such as taxes, easements, CC&R's, etc., are inserted here)

CALIFORNIA LAND TITLE ASSOCIATION STANDARD COVERAGE OWNER'S POLICY (02-04-22)

EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - i. the occupancy, use, or enjoyment of the Land;
 - ii. the character, dimensions, or location of any improvement on the Land;
 - iii. the subdivision of land; or
 - iv. environmental remediation or protection.
 - b. any governmental forfeiture, police, regulatory, or national security power.
 - the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.

Exclusion 1 does not modify or limit the coverage provided under Covered Risk 5 or 6.

- 2. Any power of eminent domain. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 7.
- 3. Any defect, lien, encumbrance, adverse claim, or other matter:
 - a. created, suffered, assumed, or agreed to by the Insured Claimant;
 - b. not Known to the Company, not recorded in the Public Records at the Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - c. resulting in no loss or damage to the Insured Claimant;
 - d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 9 or 10); or
 - e. resulting in loss or damage that would not have been sustained if consideration sufficient to qualify the Insured named in Schedule A as a bona fide purchaser had been given for the Title at the Date of Policy.
- 4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transaction vesting the Title as shown in Schedule A is a:
 - a. fraudulent conveyance or fraudulent transfer;
 - b. voidable transfer under the Uniform Voidable Transactions Act; or
 - c. preferential transfer:
 - i. to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
 - i. for any other reason not stated in Covered Risk 9.b.
- 5. Any claim of a PACA-PSA Trust. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 8.
- 6. Any lien on the Title for real estate taxes or assessments imposed or collected by a governmental authority that becomes due and payable after the Date of Policy.
 - Exclusion 6 does not modify or limit the coverage provided under Covered Risk 2.b.
- 7 Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

EXCEPTIONS FROM COVERAGE

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This policy treats any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document are excepted from coverage.

This policy does not insure against loss or damage and the Company will not pay costs, attorneys' fees, or expenses resulting from the terms and conditions of any lease or easement identified in Schedule A, and the following matters:

PART I

- (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- 2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land, or (b) asserted by persons or parties in possession of the Land.
- 3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
- 4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
- 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
- 6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.
- 7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

PART II

(Variable exceptions such as taxes, easements, CC&R's, etc., are inserted here)

CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (7-01-21) EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy and We will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - i. the occupancy, use, or enjoyment of the Land;
 - ii. the character, dimensions, or location of any improvement on the Land;
 - iii. the subdivision of land; or
 - iv. environmental remediation or protection.
 - b. any governmental forfeiture, police, or regulatory, or national security power.
 - c. the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.
 - Exclusion 1 does not modify or limit the coverage provided under Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23, or 27.
- 2. Any power to take the Land by condemnation. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 17.
- 3. Any defect, lien, encumbrance, adverse claim, or other matter:
 - a. created, suffered, assumed, or agreed to by You;
 - b. not Known to Us, not recorded in the Public Records at the Date of Policy, but Known to You and not disclosed in writing to Us by You prior to the date You became an Insured under this policy;
 - c. resulting in no loss or damage to You;
 - d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 5, 8.f., 25, 26, 27, 28, or 32); or
 - e. resulting in loss or damage that would not have been sustained if You paid consideration sufficient to qualify You as a bona fide purchaser of the Title at the Date of Policy.
- 4. Lack of a right:
 - a. to any land outside the area specifically described and referred to in Item 3 of Schedule A; and
 - b. in any street, road, avenue, alley, lane, right-of-way, body of water, or waterway that abut the Land.

Exclusion 4 does not modify or limit the coverage provided under Covered Risk 11 or 21.

- 5. The failure of Your existing structures, or any portion of Your existing structures, to have been constructed before, on, or after the Date of Policy in accordance with applicable building codes. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 14 or 15.
- 6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transfer of the Title to You is a:
 - a. fraudulent conveyance or fraudulent transfer;
 - b. voidable transfer under the Uniform Voidable Transactions Act; or
 - c. preferential transfer:
 - i. to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
 - ii. for any other reason not stated in Covered Risk 30.
- 7. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake, or subsidence.
- 8. Negligence by a person or an entity exercising a right to extract or develop oil, gas, minerals, groundwater, or any other subsurface substance.
- 9. Any lien on Your Title for real estate taxes or assessments, imposed or collected by a governmental authority that becomes due and payable after the Date of Policy. Exclusion 9 does not modify or limit the coverage provided under Covered Risk 8.a or 27.
- 10. Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

 For Covered Risk 16, 18, 19 and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	Your Deductible Amount	Our Maximum Dollar Limit of Liability
Covered Risk 16:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 10,000.00
Covered Risk 18:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 19:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 21:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 5,000.00

CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (12-02-13) EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

- 1. Governmental police power, and the existence or violation of those portions of any law or government regulation concerning:
 - a. building;
 - b. zoning;
 - c. land use;
 - d. improvements on the Land;
 - e. land division; and
 - f. environmental protection.

This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.

- 2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
- 3. The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
- 4 Risks
 - a. that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records;
 - b. that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date;
 - c. that result in no loss to You; or
 - d. that first occur after the Policy Date this does not limit the coverage described in Covered Risk 7, 8.e., 25, 26, 27 or 28.
- 5. Failure to pay value for Your Title.
- 6. Lack of a right:
 - a. to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and
 - b. in streets, alleys, or waterways that touch the Land.

This Exclusion does not limit the coverage described in Covered Risk 11 or 21.

- 7. The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.
- 8. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake or subsidence.
- 9. Negligence by a person or an Entity exercising a right to extract or develop minerals, water, or any other substances.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

 For Covered Risk 16, 18, 19 and 21, Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	Your Deductible Amount	Our Maximum Dollar Limit of Liability
Covered Risk 16:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 10,000.00
Covered Risk 18:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 19:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 21:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 5,000.00

ALTA OWNER'S POLICY (07-01-2021)

EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - i. the occupancy, use, or enjoyment of the Land;
 - ii. the character, dimensions, or location of any improvement on the Land;
 - iii. the subdivision of land; or
 - iv. environmental remediation or protection.
 - b. any governmental forfeiture, police, regulatory, or national security power.
 - c. the effect of a violation or enforcement of any matter excluded under Exclusion 1.a. or 1.b.

Exclusion 1 does not modify or limit the coverage provided under Covered Risk 5 or 6.

- Any power of eminent domain. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 7.
- 3. Any defect, lien, encumbrance, adverse claim, or other matter:
 - a. created, suffered, assumed, or agreed to by the Insured Claimant;
 - b. not Known to the Company, not recorded in the Public Records at the Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - c. resulting in no loss or damage to the Insured Claimant;
 - d. attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 9 or 10); or
 - e. resulting in loss or damage that would not have been sustained if consideration sufficient to qualify the Insured named in Schedule A as a bona fide purchaser had been given for the Title at the Date of Policy.
- 4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transaction vesting the Title as shown in Schedule A is a:
 - a. fraudulent conveyance or fraudulent transfer;
 - b. voidable transfer under the Uniform Voidable Transactions Act; or
 - c. preferential transfer:
 - to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
 - ii. for any other reason not stated in Covered Risk 9.b.
- 5. Any claim of a PACA-PSA Trust. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 8.
- 6. Any lien on the Title for real estate taxes or assessments, imposed or collected by a governmental authority that becomes due and payable after the Date of Policy. Exclusion 6 does not modify or limit the coverage provided under Covered Risk 2.b.
- 7. Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

EXCEPTIONS FROM COVERAGE

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This policy treats any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document are excepted from coverage.

This policy does not insure against loss or damage and the Company will not pay costs, attorneys' fees, or expenses resulting from the terms and conditions of any lease or easement identified in Schedule A, and the following matters:

NOTE: The 2021 ALTA Owner's Policy may be issued to afford either Standard Coverage or Extended Coverage. In addition to variable exceptions such as taxes, easements, CC&R's, etc., the Exceptions from Coverage in a Standard Coverage policy will also include the Western Regional Standard Coverage Exceptions listed as 1 through 7 below:

- (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- 2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land or (b) asserted by persons or parties in possession of the Land.
- 3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
- 4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
- 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
- 6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.
- 7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

2006 ALTA OWNER'S POLICY (06-17-06)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land: or
 - (iv) environmental protection;
 - or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
 - (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- 2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- 3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
- 4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
- 5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees, or expenses that arise by reason of:

NOTE: The 2006 ALTA Owner's Policy may be issued to afford either Standard Coverage or Extended Coverage. In addition to variable exceptions such as taxes, easements, CC&R's, etc., the Exceptions from Coverage in a Standard Coverage policy will also include the Western Regional Standard Coverage Exceptions listed below as 1 through 7 below:

- (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- 2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land, or (b) asserted by persons or parties in possession of the Land.
- 3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
- 4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
- 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
- 6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.]
- 7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

Notice of Available Discounts

Pursuant to Section 2355.3 in Title 10 of the California Code of Regulations Fidelity National Financial, Inc. and its subsidiaries ("FNF") must deliver a notice of each discount available under our current rate filing along with the delivery of escrow instructions, a preliminary report or commitment. Please be aware that the provision of this notice does not constitute a waiver of the consumer's right to be charged the filed rate. As such, your transaction may not qualify for the below discounts.

You are encouraged to discuss the applicability of one or more of the below discounts with a Company representative. These discounts are generally described below; consult the rate manual for a full description of the terms, conditions and requirements for such discount. These discounts only apply to transactions involving services rendered by the FNF Family of Companies. This notice only applies to transactions involving property improved with a one-to-four family residential dwelling.

Not all discounts are offered by every FNF Company. The discount will only be applicable to the FNF Company as indicated by the named discount.

FNF Underwritten Title Companies

CTC - Chicago Title Company

CLTC - Commonwealth Land Title Company

FNTC - Fidelity National Title Company of California

FNTCCA - Fidelity National Title Company of California CTIC - Chicago Title Insurance Company

LTC - Lawyer's Title Company

SLTC - Lawyer's Title Company
SLTC - ServiceLink Title Company

Underwritten by FNF Underwriters

CTIC - Chicago Title Insurance Company

CLTIC - Commonwealth Land Title Insurance Company

FNTIC - Fidelity National Title Insurance Company

TICOR - Ticor Title Company of California

Available Discounts

DISASTER LOANS (CTIC, CLTIC, FNTIC)

The charge for a Lender's Policy (Standard or Extended coverage) covering the financing or refinancing by an owner of record, within twenty-four (24) months of the date of a declaration of a disaster area by the government of the United States or the State of California on any land located in said area, which was partially or totally destroyed in the disaster, will be fifty percent (50%) of the appropriate title insurance rate.

CHURCHES OR CHARITABLE NON-PROFIT ORGANIZATIONS (CTIC, FNTIC)

On properties used as a church or for charitable purposes within the scope of the normal activities of such entities, provided said charge is normally the church's obligation the charge for an owner's policy shall be fifty percent (50%) to seventy percent (70%) of the appropriate title insurance rate, depending on the type of coverage selected. The charge for a lender's policy shall be forty percent (40%) to fifty percent (50%) of the appropriate title insurance rate, depending on the type of coverage selected.

MILITARY DISCOUNT RATE

Upon the Company being advised in writing and prior to the closing of the transaction that an active duty, honorably separated, or retired member of the United States Military or Military Reserves or National Guard is applicable, will be entitled to a discount equal to fifteen percent (15%) of the otherwise applicable rates such party would be charged for the title insurance policies.

Minimum charge: Four Hundred Twenty-Five And No/100 Dollars (\$425.00)

The Company may require appropriate proof of eligibility from the parties to the transaction verifying they are entitled to the discount as described. No other discounts or special rates, or combination of discounts or special rates, shall be applicable.



This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

OWNER'S DECLARATION



Escrow No.: FBSC2405131

Property: 4100 Irving Place, Culver City, CA 90232

The undersigned hereby declares as follows:

1.	(Fill in the applicable paragraph and strike the other)		
	li	Declarant ("Owner") is the owner or lessee, as the case may be, of certain premises located at 4100 rving Place, Culver City, CA 90232, further described as follows: See Preliminary Report/Commitment No. FBSC2405131 for full legal description (the "Land").	
		Declarant is the of ("Owner"), which is the owner or lessee, as the case may be, of certain premises located at 4100 Irving Place, Culver City, CA 90232, further described as follows: See Preliminary Report/Commitment No. FBSC2405131 for full legal description (the "Land").	
2.	(Fill i	n the applicable paragraph and strike the other)	
	d fi	During the period of six (6) months immediately preceding the date of this declaration no work has been done, no surveys or architectural or engineering plans have been prepared, and no materials have been urnished in connection with the erection, equipment, repair, protection or removal of any building or other structure on the Land or in connection with the improvement of the Land in any manner whatsoever.	
	b tl n s ir a	During the period of six (6) months immediately preceding the date of this declaration certain work has been done and materials furnished in connection with upon the Land in the approximate total sum of \$, but no work whatsoever remains to be done and no materials remain to be furnished to complete the construction in full compliance with the plans and specifications, nor are there any unpaid bills incurred for labor and materials used in making such improvements or repairs upon the Land, or for the services of architects, surveyors or engineers, except as follows: Owner, by the undersigned Declarant, agrees to and does hereby indemnify and hold harmless Chicago Title Insurance Company against any and all claims arising therefrom.	
3.	Owner has not previously conveyed the Land; is not a debtor in bankruptcy (and if a partnership, the general partner thereof is not a debtor in bankruptcy); and has not received notice of any pending court action affecting the title to the Land.		
4.	Except as shown in the above referenced Preliminary Report/Commitment, there are no unpaid or unsatisfied mortgages, deeds of trust, Uniform Commercial Code financing statements, regular assessments, special assessments, periodic assessments or any assessment from any source, claims of lien, special assessments, or taxes that constitute a lien against the Land or that affect the Land but have not been recorded in the public records. There are no violations of the covenants, conditions and restrictions as shown in the above referenced Preliminary Report/Commitment.		
5.	The occu Land	te Land is currently in use as;; cupy/occupies the Land; and the following are all of the leases or other occupancy rights affecting the nd:	
6.		There are no other persons or entities that assert an ownership interest in the Land, nor are there unrecorded easements, claims of easement, or boundary disputes that affect the Land.	
7.	There	e are no outstanding options to purchase or rights of first refusal affecting the Land.	

OWNER'S DECLARATION

(continued)

- 8. Between the most recent Effective Date of the above referenced Preliminary Report/Commitment and the date of recording of the Insured Instrument(s), Owner has not taken or allowed, and will not take or allow, any action or inaction to encumber or otherwise affect title to the Land.
- 9. That the undersigned has not received any written notice of violation of any covenants, conditions or restrictions, if any, affecting the Land.

	restrictions, if any, affecting the Land.		
10.	That there are no outstanding unpaid sellers or suppliers of PACA/PASA commodities or products incurre by the Lessee, except:		
11.	That no notices of claim or notices of from PACA/PASA sellers or suppliers of	intent to preserve claim rights have been received by the Company of the Lessee, except:	
issu und exp Ow peri Cor	ling agents will rely upon it in issuing ersigned Declarant, agrees to indemn enses, and costs) incurred by the Com ner, by the undersigned Declarant, ag od between the last title examination	that Chicago Title Insurance Company (the "Company") and its policy g their title insurance policies and endorsements. Owner, by the ify the Company against loss or damage (including attorneys' fees, pany as a result of any untrue statement made herein. Additionally, trees to indemnify and hold the Company harmless during the gap of the Land that was conducted by, for and/or on behalf of the assignments and any other documents creating priority of title are transfer of the Land.	
l de		oregoing is true and correct and that this declaration was executed on	
	Signature	Date	
Prir	nt Name		
	Signature	Date	

Print Name

EXCEPTIONS PTR (A)

THE BASIS FOR THIS MAP IS A PRELIMINARY THE REPORT PREPARED BY CHICAGO THE INSURANCE COMMENT UNDER TBESCAPCIAS, SEFENCE RECEMBERS 4, 2024, NO RESPONSIBILITY AS TO THE ACCURACY OF THIS THE REPORT IS ASSUMED BY THIS SHYREY.

GOORAPHOLLY LOCATABLE. TIBLE RROW SND THE REPORT (SUOF AS EASENENTS) WHICH AFFECT THE CREAMENT AS EXCENDENT BECROACH AS EASENENT AND FASTER AND AND AN ANAMERICALLY CREAD TO SNOT THE REPORT. THESE THESE THESE IN SECREDALLY FOR \$40 THE REPORT WHICH AND AND AND AND ANAMERICALLY KREAD TO SNOT THE REPORT WAS ASSOCIATED.

 $(\widehat{X})-$ indicates the exception number of the current preliminary title report mentioned Abone.

AT THE DATE HEREOF, ITEMS TO BE CONSIDERED AS EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN SAID POLICY FORM WOULD BE AS FOLLOWS.

- PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2025–2026.
- THE LEG OF SUPERBURY OF CRUPEN ASSESSMENT OF PROPERTY NORSE F MAY, MUCE PRESIMENT IN THE REPORTING TO CHARACTER 3.4 (COMBENIOR BIT STETING TO GO F PART 2. CHAPTER 3.4 APRILES 3.4 MAY A RESULT OF THE REPORTE MATION TO CHE OF THE STIGHTLE OF AN CAR RESULT OF DAMESS IN OWNERSER OR NEW CONSTRUCTION OCCURRING. THERE WERE NO TAKES LEVED FOR THE FISCAL YEAR 2024—2025 AS THE PROPERTY WAS VESTED IN A POBLIC BETHT. TAX ENET HOLD FURTH. TAX ENET HOLD FURTH.
 - WATER RIGHTS, CLAMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
- @ any interests (including rights of the public) in and to any portion of the land lying within Roads, streets, alleys or highways.

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EXCEPTIONS PTR (A CONTINUED)

- 28. DECKEPALCES, CONFLUTS IN BOUNDAR' LINES, SHORTIGE IN AREA, ENCROACHMENTS, OR ANY OTHER MITTERS SHOWN ON MAY. RECORD OF SHORT OF SHORT
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- **EXCEPTIONS PTR (B)**

THE BASS FOR THIS MAP IS A PRELIMMARY TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMMENT UNDER TRESCACIASIA, EFFECTIVE ECCEMBER 4, 2024, NO RESPONSIBILITY AS TO THE ACCURACY OF THIS THE REPORT IS ASSUMED BY THIS SURVEY.

 $\widehat{\mathbb{X}}$ indicates the exception number of the current preliminary title report mentoned above.

at the date hereof, items to be considered as exceptions to coverage in addition to the printed exceptions and exclusions in said policy form would be as follows:

- THERE WERE NO TAKES LEVED FOR THE FISCAL YEAR 2024—2025 AS THE PROPERTY WAS VESTED IN A POBLOC BRITTO.

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02-05-2025 L.S. 8446





CULVER CITY, CA 90232

HORIZONTAL: 1" = 40 SCALE DATE SUBMITTED: 02/05/2025

PROJ. MGR.

NO. BY DATE REVISIONS:

LAYOUT

DRAWING NAME: PAGE SETUP CAUTION:

15092 AVENUE OF SCIENCE, SUITE 200 SAN DIEGO, CA 92128 WWW.NV5.COM P: 858.385.0500 WWW.NV5.COM

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PREPARED FOR: CULVER CITY UNIFIED SCHOOL DISTRICT

JOB NUMBER 24-0006126

EXCEPTIONS PTR (B CONTINUED)

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- LOCAMENTO THE INSPIRED AS A PORTION AND ROTTS INCIDENTAL THERETO, AS GRAVIED IN A ADGOLDER. RESPECT AS SHARING THE CHARLE LUISON. SHARING THE WARRY THE MARCH AS A RESPONSE BITE. WARRY AND A RECORDER BITE. WARRY ARE A PORTION OF LOTT!! PARE 110, GFFDAM, RECORDES THE WARRY AS A PORTION OF LOTT!! PARE 110, GFFDAM, RECORDES THE WARRY AS A PORTION OF LOTT!! PARE 110, GFFDAM, RECORDES THE WARRY AS A PORTION OF LOTT!! PARE 110, GFFDAM, RECORDES THE WARRY AS A PORTION OF LOTT!! PARE 110, GFFDAM, RECORDES THE WARRY AS A PORTION OF LOTT!! PARE 110, GFFDAM, RECORDES THE WARRY AS A PORTION OF LOTT. PARE 110, GFFDAM, RECORDES THE WARRY AS A PORTION OF LOTT. (3)
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 - REDEVELOPMENT AGENCY: CITY OF CULVER CITY AND URBAN COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF COMPTON RECORDING DATE: DECEMBER 19, 1991 RECORDING NO: AS INSTRUMENT NO: 91-1994295, OFFICIAL RECORDS
- THE EXCREPTION SHOWIN IN SCIENZE, A OF THIS REPORT MAY NOT BE FRIED UPON AS AN INSINABLE PARCEL. THIS COMPANY HAS PROVIDED BY ACCOMMODATION FOR THE PRIPROSE FACILITING THIS REPORT. A RESTORMENT AND PROPORED BY THE APPROVENCE CONSENION AGENCY MAST BE SUBMITTED TO THIS COMPANY FOR REVIEW PRORY TO CLOSING. 35
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- MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND THE SURFACT OF SAID LAND THAT IS SATIFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSON THEREOF.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1(A):

LOTS 5, 7, 16, 17 AND 18 IN BLOCK 22 OF TRACT NO. 1775, IN THE CITY OF CLUVER CITY, COUNTY OF LOS ANGELES, STATE OF CHIEFORN, AS PER MAP RECORDED IN BOOK 21 PAGES 190 AND 191 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2(A).

8. 19 AND 20 IN BLOCK 22 OF TRACT NO. 1775, IN THE CITY OF CULVER CITY, COUNTY OF CALVERNAL, AS EVER MAP RECORDED IN BOOK 27 PARCES 190 AND 191 FO. MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 3(A):
107 108, 109, 109, 137, 138, 139 AND 140 OF NOLAN PARK TRACT, IN THE CITY OF
107 107 COUNTY OF USS ANRELES, STATE OF CALLPORAN, AS PER MAP RECORDED IN BOOK
122 PARE 45 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

TOGENER WITH THAT PORTION OF BRADDOCK DRIVE, BEING A 50 FOOT RIGHT OF WAY, BETWEEN VAN BEING FLACE AN UNKE FALCE IN SUIC OTTA AS ENROWN ON THE LAW OF NICLAM PARK THACK IN BOOK 32 PAGE 45 OF WASS, WHICH IS WANTED BY AN ORDINANTE KIN. CS-605, AND RECORDED AJOUST 29, 1986 AS INSTRUMENT NO. 2021, OF OFFICIAL RECORDS.

APN: 4206-027-900

PARCEL 1(B):

LOTS 110, 111, 112, 113, 114, 141, 142, 143, 144, AND 146 OF NOUAN PARK TRACT, IN THE OFFICIAL STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 32, PAGE 45, OF MAPS, IN THE OFFICE OF THE COUNT RECORDED FOR SUIT OF THE COUNTY RECORDED TO SUIT OF THE COUNTY RECORDED FOR SUIT OFFICE OF THE COUNTY RECORDER OF SUIT OFFICE.

TOGETHER WITH THAT PORTION OF THE ALLEY LYING PARALLEL TO IRANG PLACE, AND VAN BUREN PLACE, BAUTING LOTS 111, 112, 114, 112, AND 113, OF SUD NOLMY PARK TRACT, AS MACKED BY THAT CERTAIN DEDWAVER, NO. CS-287, FILED NORDHERR 12, 1957, WHICH WOULD PARS BY OPERATION OF LAW GYON COMPLANCE OF SUD LAND.

ALSO, TOGETHER WITH THAT PORTION OF THE ALLEY LYING PARALLEL TO IRVING PULKE AND WAN BLIRKY LACE, ABUILTING PARK TRICT, AS WCIED PORT THAT CERTAIN ORDINANCE NO. 55-552, SECORDD APRIL 23, 1957, AS INSTRUMENT NO. 1935, OFFICIAL RECORDS, WHICH WOULD PISS BY OPERATION OF LAW UPON COMPIYANCE OF SAID LAND.

ALSO, TOGETHER WITH THAT PERFORM OF THE SOUTHEASTERN, "HAT, OF BRADDOCK OBHE, WACKED PART, CERTAM, DEBINAMER NO, CS-GOS, RECORDED AUGUST 28, 1988, AS INSTRUMENT NO, 2021, OFFICIAL, RECORDS, WHICH WOULD PASS BY OFFICIATION OF LAW UPON CONVEYANCE OF SAID LAND. EXCEPTINE FROM SED OF THA ALL CHOED CO., EFFORCINE, GAS, BREAK, ASHALTUM AND ALL MEDICES DISENVESS AND OTHER MINEMAS. UNDER AND IN SAID LAND BELOW SO. DETS. WITHOUT RECORDED WARNED ENTRY. STRICKE UNIT, N. DEED. RECORDED WARNED, S. OFFORM, RECORDES. WAS IN DEED.

APN: 4206-026-906

SURVEYORS NOTE

LINWOOD HOWE ES IS COVERED BY TWO (2) SEPERATE PRELIMINARY TITLE REPORTS (PTR) AND THE EXCEPTIONS SHOWN HEREON ARE NOTED AS FOLLOWS,

TR A - LINWOOD-HOWE ES APN 4206-027-900
TR B - LINWOOD-HOWE ES APN 4206-026-906

BASIS OF BEARINGS

eearings are referenced to grid north as defined by the california coordinate system 1983, Zone 5, edoch zool and nake based national normanis shown herecon per extended gas Greskanton and resolacid by onus from the Nos.

THE CENTERLINE OF VAN BUREN PLACE BEING NORTH 56" 14" 49" MEST

SENCHMARK

ELEMITONS SHOWN ARE ON THE WADDER DATUM, DETERMINED LOCALLY BY THE LOS ANGELES COUNTY BENCHMARK YTHORST POWER IN WESTERY CHER AT RECENSIVE OF CHER BETLINEN AT THE SOUTHWESTERY CONNER OF JETERSON BLUD. & HOLDREDE ARE, (NORTH END OF CATCH BISSIT)

ELEVATION = 85.375 FEET

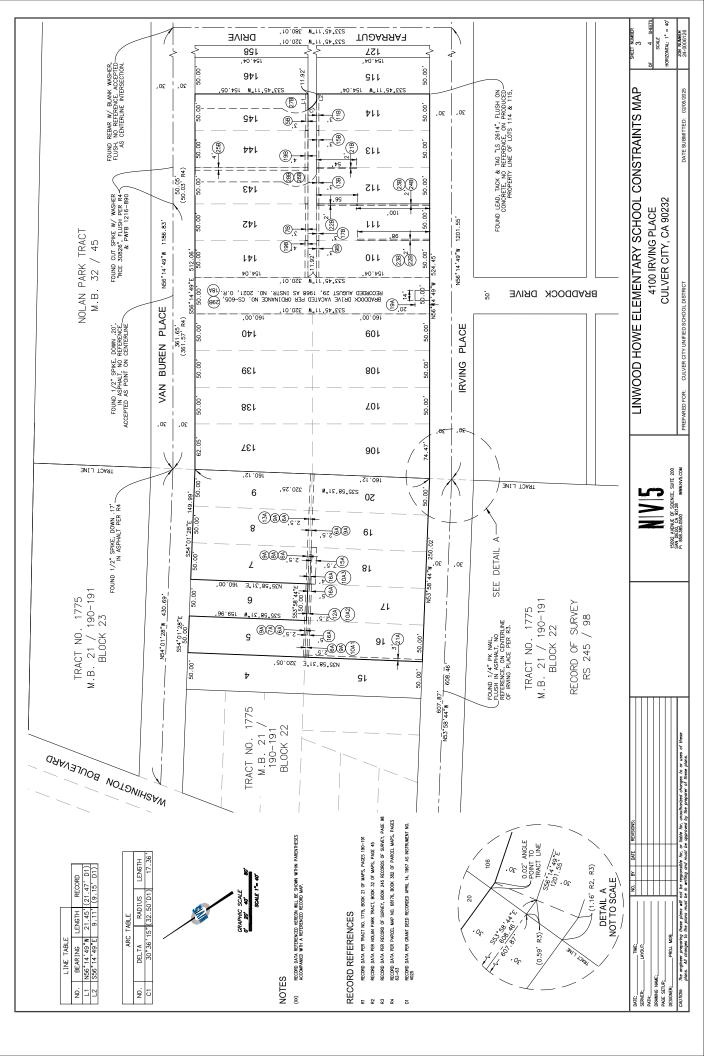
The enginee preparing these plans will not be responsible for, or litable for, unauthorized charges to or uses of these plans. All charges to the plans must be in writing and must be approved by the preparer of these plans. NO. BY DATE REVISIONS: PROJ. MGR. LAYOUT PAWING NAME. AGE SETUP:

PREPARED FOR: CULVER CITY UNIFIED SCHOOL DISTRICT 15092 AVENUE OF SCIENCE, SUITE 200 SAN DIEGO, CA 92128 WWW.NV5.COM P: 858.385.0500 WWW.NV5.COM

LINWOOD HOWE ELEMENTARY SCHOOL CONSTRAINTS MAP DATE SUBMITTED: 02/05/2025 CULVER CITY, CA 90232 4100 IRVING PLACE

HORIZONTAL: 1" = 40" 4 SHEETS

JOB NUMBER 24-0006126 SCALE





LINWOOD E. HOWE ELEMENTARY SCHOOL TOPOGRAPHIC MAP
4100 IRVING PL
CULVER CITY, CA 90232

SEPARED FOR: CULVER CITY CA 90232

DATE SIBBITITE: 02005/2022

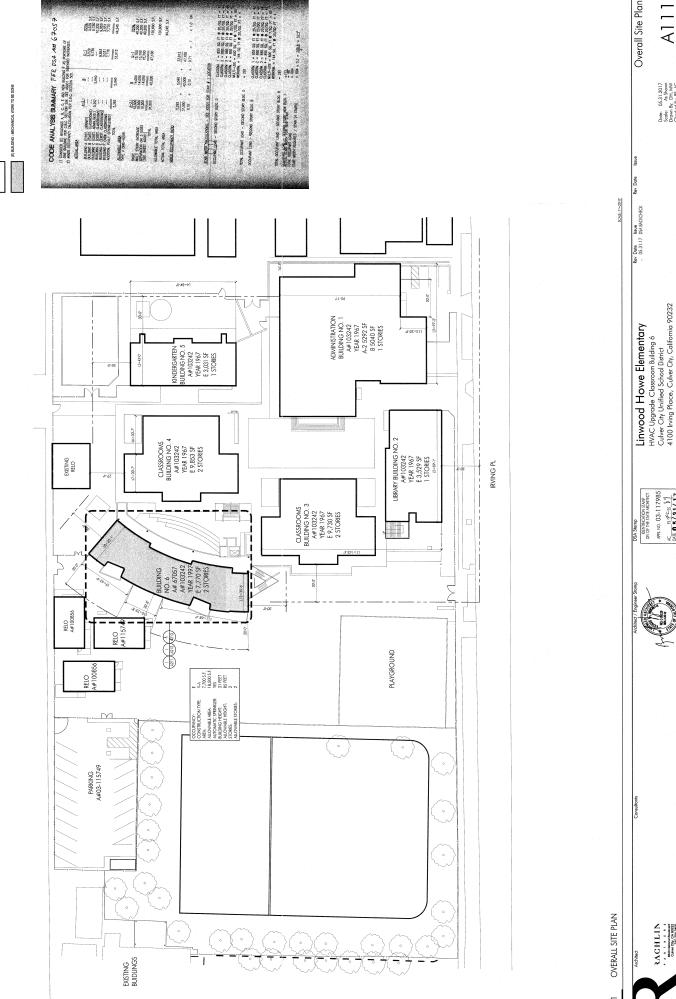
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15092 ANEWLE OF SCIENCE, SUITE 200 SAN DIEGO, CA 82128 F. 888.385,0500

SCALE
SCALE
HORIZONTAL: 1" = 30
JOB NUMBER
24-0006126

12.C APPENDIX

Original drawings of the existing buildings



GENERAL NOTES: PLANS ARE TAKEN DIMENSIONS. LEGEND:

APPL NO. 03-117985 AC F3 7CSS BY DATE **0 5/31/17** DIV OF THE STATE ARCHITECT

AACHLIN FART RER B 6540 National Booleward Culver City, CA 962222 310, 2204, 300.

Date: 05.31.2017 Scale: As Shown Drawn By: DH, MW Checked By: RE, AC

Overall Site Plan

Control of CULVER CITY CALIFORNIA A101-A PLOOR PLAN CULVER UNIFIED SCHOOL DISTRICT MODERNIZATION huəybnoq ដ huəybnoq BNIFDING #1 LINWOOD HOWE ELEMENTARY SCHOOL A service of process o 1) OKSTHORY

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SEPLOZ DOOR PLILL, COUNTRY HARES AND LOCKS IN ALL
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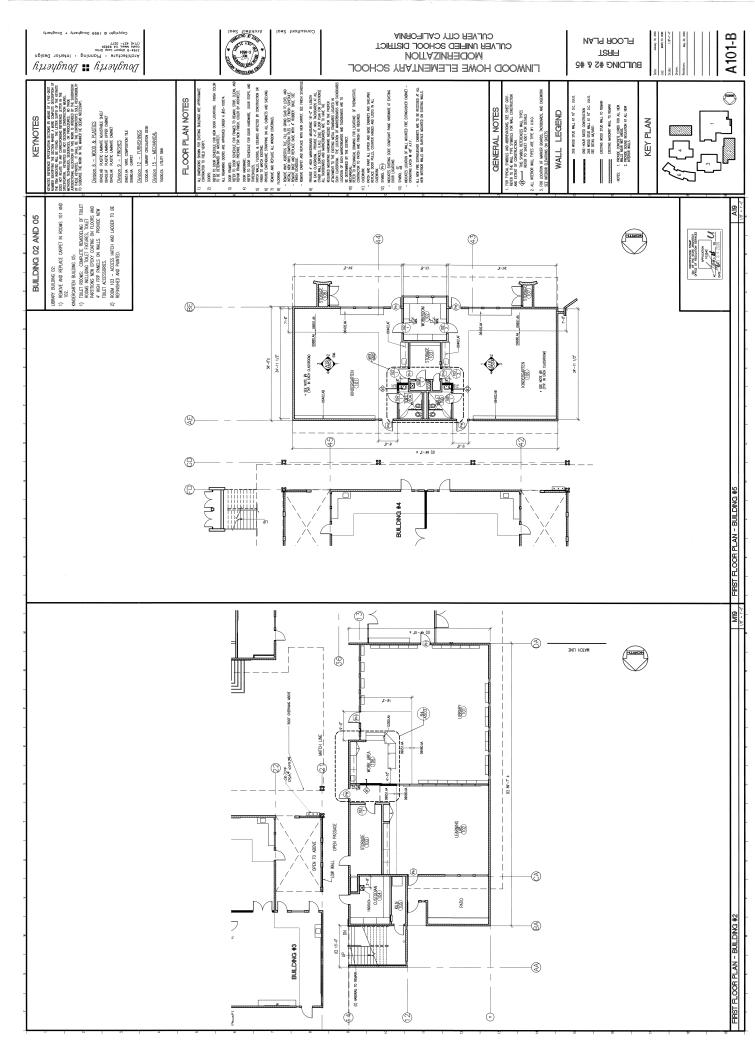
— REPUGE RETWINSH WOOD CHENETS BELOW

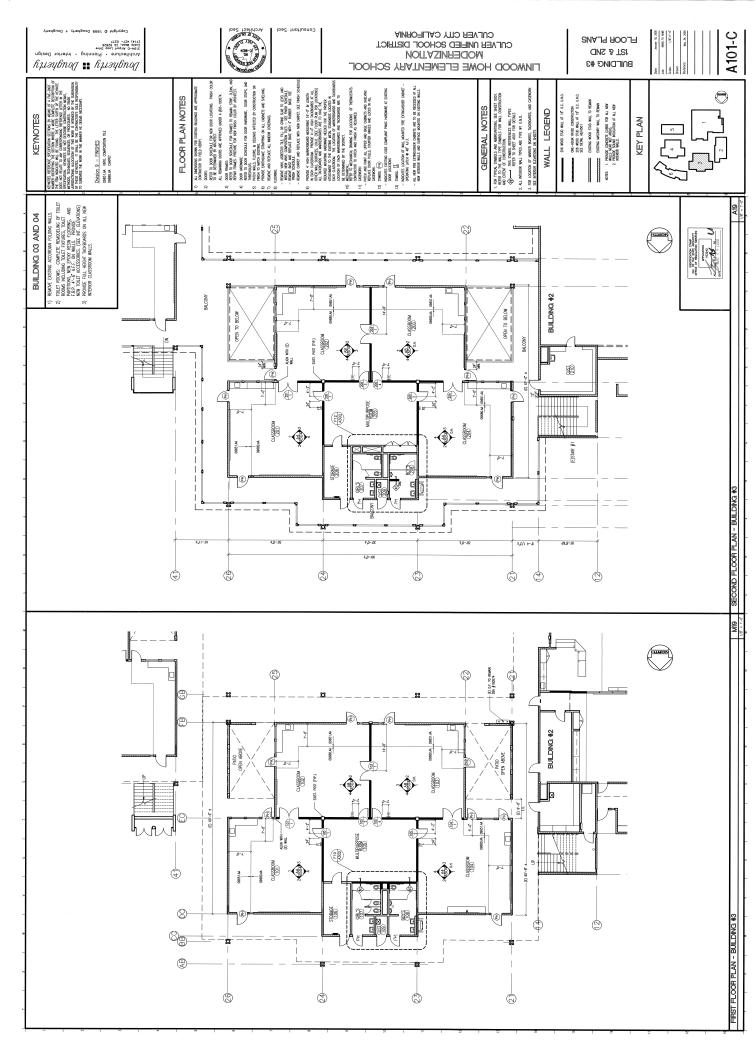
5. STAGE 102- PATCH AND RETWINSH WOOD STARS.

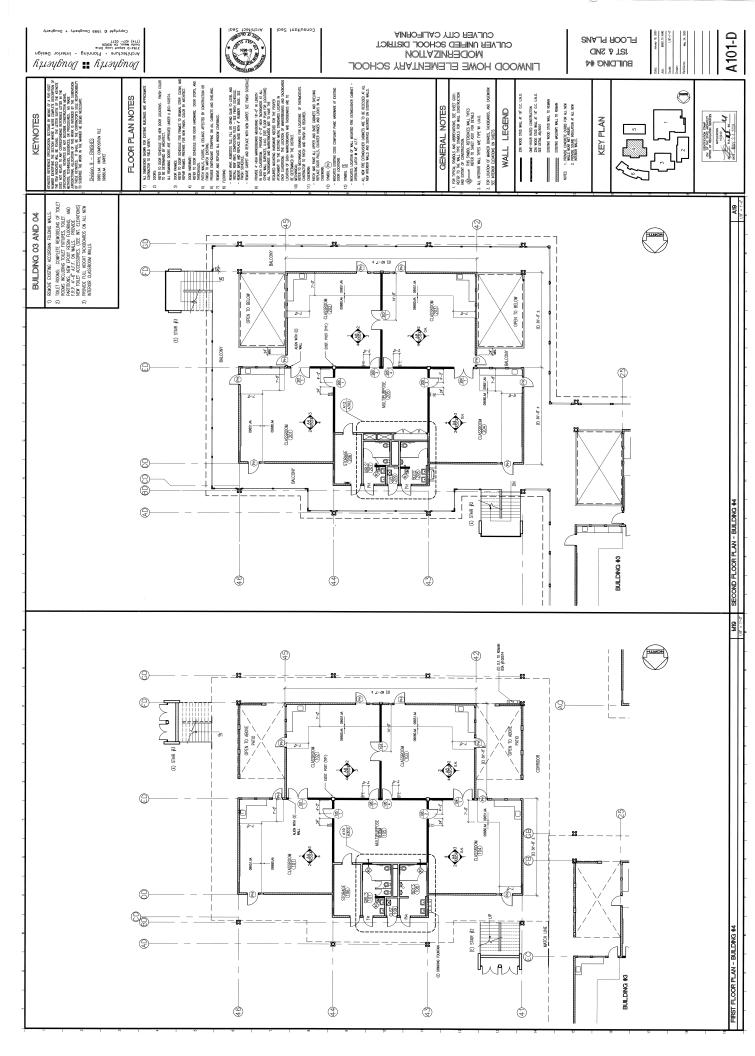
5) REDWICE CHEETE IN ROOM 116, 117, AND 118 **BUILDING OF** (%) 6 (9) (3) 6 9 (9) (B) Used Per Foot soly 300 (6) (8) 0 (2) **#** CONFERENCE MALS ON BUCHEN
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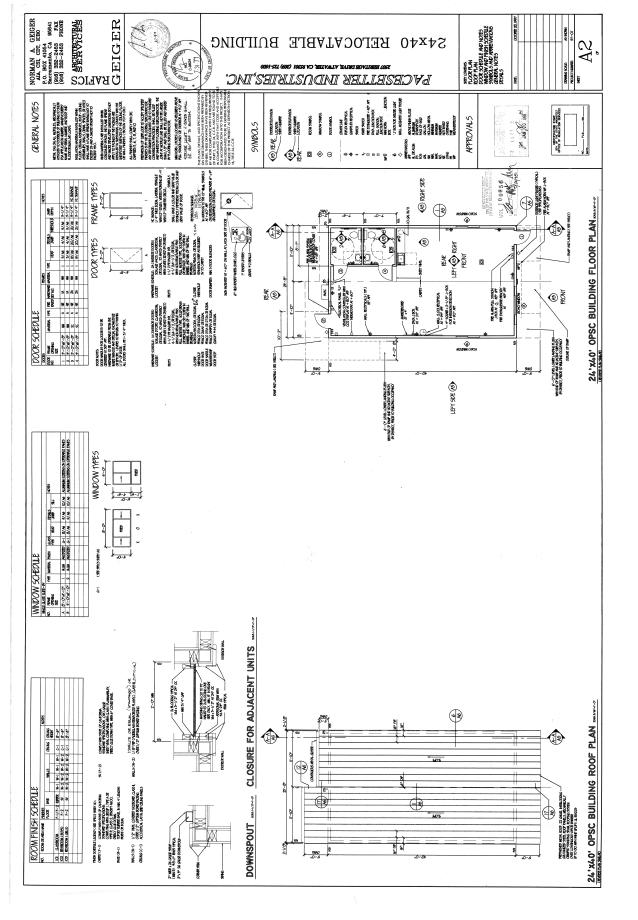
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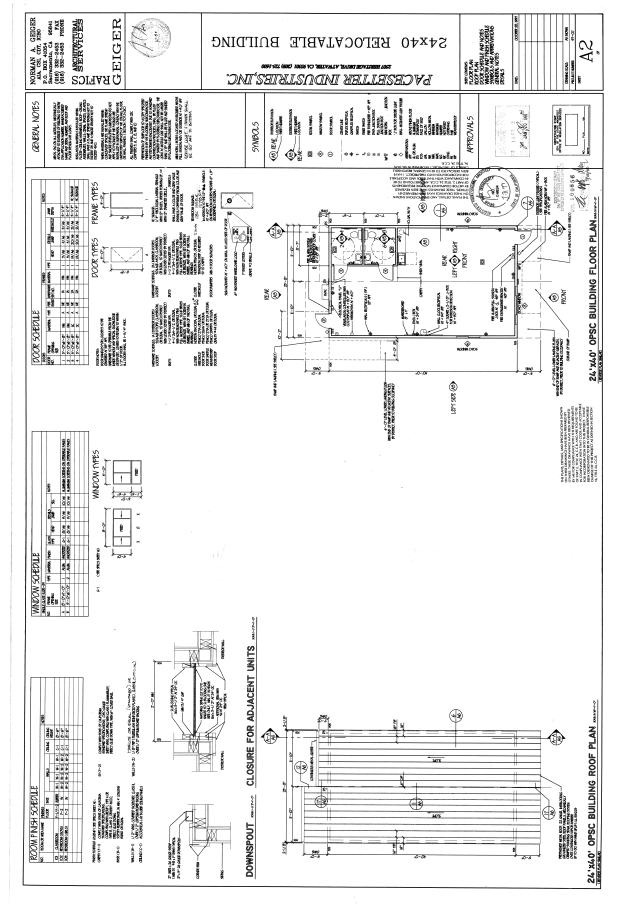
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12.D APPENDIX

Pictures

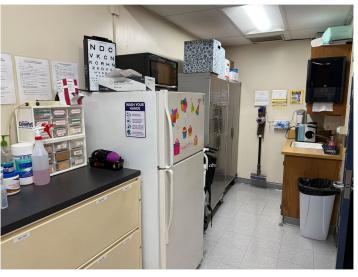












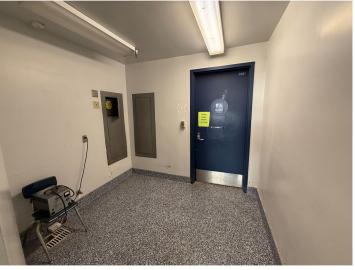






























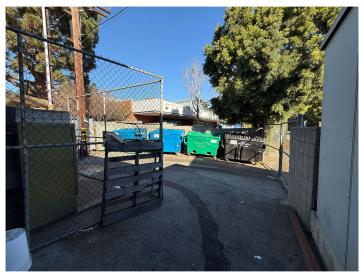








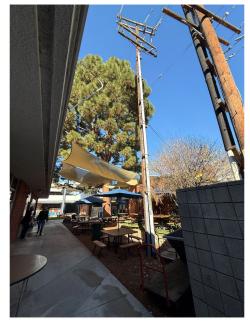














































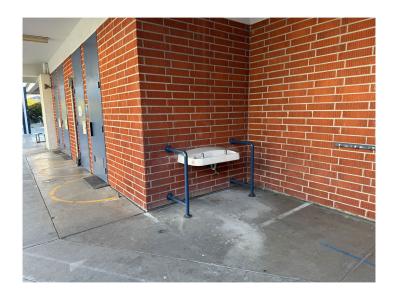


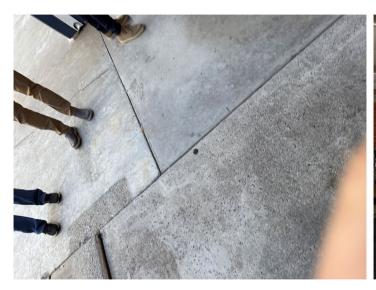








































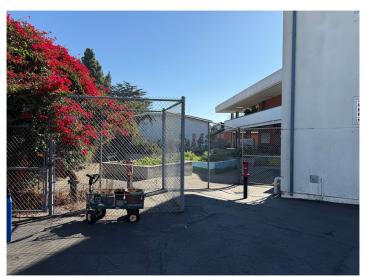










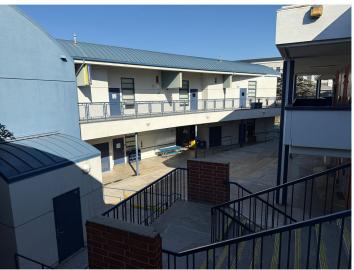












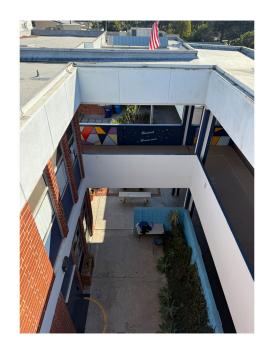


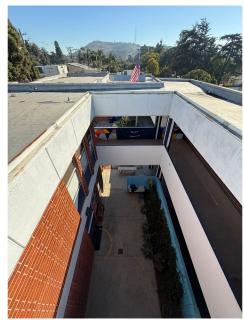




























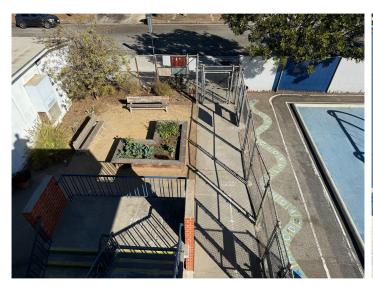












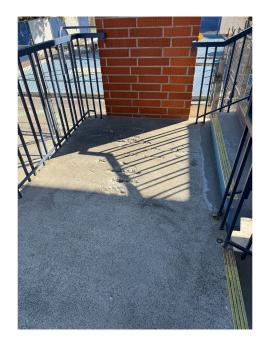
















12.E APPENDIX

Meeting Notes







CULVER CITY UNIFIED SCHOOL DISTRICT tBP PROJECT START-UP / KICK-OFF MEETING 10/18/2024

- I. Introductions and Roles and Responsibilities
- II. Site Assignments
 - a) El Marino Language School
 - b) Linwood Elementary School
- III. Site/Facility Needs
 - a) Review Facility/Community Meeting Notes and Priorities
 - b) Compare with Master Plan
 - c) Reconcile and confirm with Bond Project List
- IV. Scope Development, Clarification and Approval
 - a) Follow-up in depth Site Meetings
 - i) Current Classroom Count
 - ii) Architectural Programming
 - b) Business Services / Facility Committee Approval
- V. Initial Project and Construction Budget Review
 - a) Review TCM Project and Construction Budget (attached)
- VI. Contract Review and Fee Proposal Preparation
 - a) Master Services Agreement issued with RFQ
 - b) Addenda for Specific Projects and Project Scope
- VII. District Deliverables and Documents
 - a) As-Builts
 - b) Utility Survey
 - c) Topographic Survey
 - d) Enrollment History and Updated Enrollment Projections
- VIII. Next Steps / Project Schedule





Meeting Notes

Date: 09/28/2024 **Meeting Date:** 09/26/2024

Subject: El Marino Language School

Site Facility Meeting Meeting Location: El Marino Language School

Meeting Time: 3:30 PM

<u>Items</u>

1.0 Purpose:

The meeting was held to review the Culer City USD Master plan with the El Marino Staff and Parents and listen to their urgent needs/ repairs.

- 2.0 Faculty could not attend, a follow up Site Facility Meeting with the Architects will be needed.
- 3.0 Fencing Options
 - Ms. Santha Rajiv presented (3) options for fencing. The group preferred a combo of Option 1 and Two.
 This is possible as a Quick Start project. Architects will present renderings of what it looks like.
- 4.0 Master Plan Discussion
 - How does the Master Plan take into account current and changing enrollment numbers? The Master Plan
 was based on the enrollment numbers at the time. The Master Plan Architect commented that the
 enrollment numbers are not changing significantly.
 - The Master Plan can be modified to accommodate more Classrooms.
 - The Site stated they do not need more parking.
 - Save Trees. Need more Shade and Green.
 - Why was the Green Space flipped? You can only build in an open area without building interim housing
 first. Interim housing is expensive. The recommendation is not to spend money on interim housing which
 will be demolished in the long run.
 - How many classrooms does the Master Plan show? The team will have to get back to the Site on this
 question.
 - Two Story Classroom Buildings preferred.
 - Need bathrooms in Classrooms.
 - Campus Security Needs Improvement.
 - Drop Off Area Needs Improvement.
 - The Principal stated that the feedback from the Teachers was that the Master Plan showed not enough classroom spaces.
 - Staff Restrooms are bad,

El Marino Measure E Site Facilities Committee Immediate/Summer Projects & Larger / Measure-E Projects

June 15, 2024

ATTN:

Dr. Brian Lucas, CCUSD Superintendent CC: El Marino Site Facilities Committee

Summer/Immediate/Sub-\$60k projects

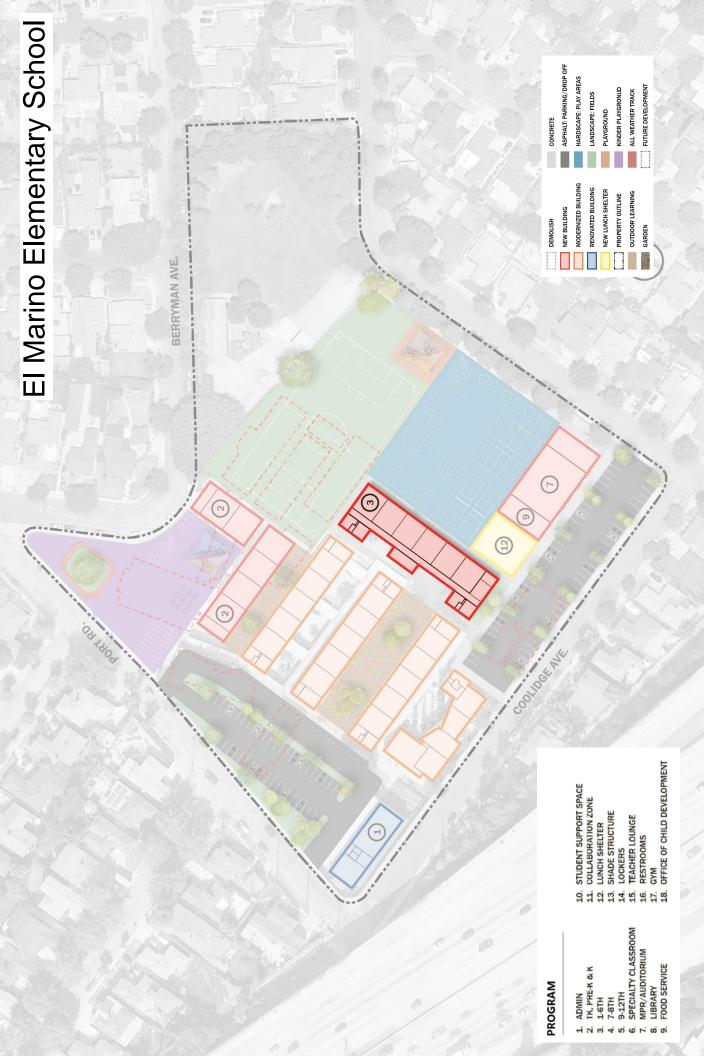
- 1. Fix leaks in auditorium back room, Kindergarten classrooms, Room 17 and multiple other classrooms;
- 2. Asphalt in eating area;
- 3. More coverage in lunch area for shade and rain coverage;
- 4. Door knob replacement (on classrooms);
- 5. Ceiling tile replacements (in auditorium and classrooms);
- 6. Drainage (between room 6 and room 1; "mini river" by room 35; in hallways; "lake" on play area);
- 7. Fix drinking fountain in patio of room 14;
- 8. Clean graffiti on walls and handball courts.
- 9. Pest control (cockroaches were reported the most, but also rats and termites)
- 10. Plumbing backing up in bathrooms
- 11. Improving staff bathrooms (new paint, caulking, new mirrors, dispensers, toilet seats, etc.)
- 12. Repairing window blinds and/or replacing with rolling shades.
- 13. Repair play structures currently taped-off
- 14. Replace damaged furniture throughout (desks/tables/chairs/rugs/carpet

Long Term/Measure-E Funds projects

- 1. Air Conditioning Units repair/replacement
- 2. Perimeter fence replacement ->Non-climbable fence
- 3. Asphalt repair/replacement
- 4. Shading for student's eating area







09/26/2024.

EL MARINO ELEMENTARY SCHOOL.

	SUB FACILITY MEETING.	
	NAME	OPEANIZATION .
0.	PREETI D'SOUZA	TELACU CONSTRUCTION MANAGEMENT
(E)	Andrew Ulmen	Hrugbee Architects
(3)	FEYIN S. FLENING	DUR GROUP
(L)	Paul Karai akoubian	El Marino Principal
(3)	Brad Trompion	El marro Parent
6	LATONYA HORAN	HUCKABEE ARCHITECTS
(A).	July CHENTY	SVA XPOHITECTS, INC

	EL MARINO 09/26	LANGU AGE SCHOOL 12024.
	NAME	OREANIZATION
8	Hunt CHENT	tBP/April (Thotups
9	Claudia Fajardo	Parent volunteer
(10)	Marc Bauer	Parint
	Bent Knyz	Part
(E)	BRIAN LUCAS	ZCUSD
(13)	SANTHA RAJIV	CCUSD.
(19)		
(3)		





Meeting Notes

Date: 10/16/2024 **Meeting Date:** 09/30/2024

Subject: Linwood E. Howe Elementary School

Site Facility Meeting Meeting Location: Linwood E. Howe Elementary

School

Meeting Time: 2:15 PM

Sign in Sheet: Attached

Items

1.0 Purpose:

The meeting was held to review the Culer City USD Master plan with the Linwood E. Howe Staff and Parents and listen to their urgent needs/ repairs.

- 2.0 Faculty could not attend, a follow up Site Facility Meeting with the Architects will be needed.
- 3.0 Master Plan Discussion
 - There are still (2) bathrooms in room 24 and 25 that were not updated.
 - Add non slip threads to stairs and replace railings.
 - New carpeting
 - Maintenance of HVAC
 - Shade structure at Quad and Kinder area.
 - Lack of storage in classrooms
 - Lockable casework
 - One consistent lock for all staff restrooms
 - Leveling of turf in quad
 - Site drainage issues
 - Curb around track, tripping
 - Irrigation systems sticking out
 - Fencing slats removed
 - Stage doors need to be fixed
 - Parking needed
 - Sensory room needed
 - New garden space
 - Where is OCD going? Is it staying at Linwood Howe.
 - OCD bungalows are getting demolished to get parking
 - Goal is to have (4) TK and (4) Kinder
 - Nice to have science lab
 - Space for pull out groups
 - Not much need for outdoor learning space
 - Need for indoor learning space
 - Campus security/access
 - Seismic upgrading.
 - 2nd floor buildings to connect.

Linwood E. Howe Elementary School

Site Facility Meeting

Monday, September 30, 2024

#	Name	Company/ Entity
1	PREETI DSOUZA	TELACY CONSTRUCTION MANAGEMENT
2	Ian McCullen	Assistant Principal
3	CASey Chabola	Principal
4	Jen Chyi	Parent
5	Stern Acort	Temolog Technican
6	Lacey Banis	Parect
7	Br.an Lucas	100
8	Danella Liber	Lin Howe teacher
9	Judy CHENG	SVA KRCHITECTS, MC.
10	MEL TAN	"GVA ARCHITECTS
11	CAPOLYN LOVETPREY	top/APCHITECTURE
12	LATONYA HORHN	HUCKABEE ARCHITECTS
13	Andrew Ulmen	Huckabee
14	Alicia McCullough	Parent

Linwood E. Howe Elementary School

Site Facility Meeting

Monday, September 30, 2024

#	Name	Company/ Entity
15	NATI SOFFER	Parent
16	SANTHA PAJIV	DISTRICT OFFICE
17	KEVIN FLENING	DLR
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		









CULVER CITY UNIFIED SCHOOL DISTRICT MEASURE E - INTIAL A&E CONSTRUCTION VALUE FOR FEE CALCULATION

					Ö	CONTINGENCY						
CAMPUS	主	HARD COSTS	留	ESCALATION		(APPLIED LATER)	OS	TOTAL CONSTRUCTION	Š	SOFT COSTS	10	TOTAL PROJECT
Culver City MS & HS	↔	\$ 84,572,723	↔	13,902,077	↔	9,847,480	\$	98,474,800	↔	36,418,252	↔	\$ 144,740,532
Culver Park HS	↔	10,150,000	↔	2,187,388	↔	1,579,186	↔	12,337,388	↔	3,454,469	↔	17,371,043
El Rincon	↔	32,645,528	↔	7,035,315	↔	5,079,148	↔	39,680,843	↔	11,110,636	↔	55,870,627
El Marino ES	↔	25,662,504	↔	5,530,430	↔	3,992,696	↔	31,192,934	↔	8,734,022	↔	43,919,652
Linwood E. Howe ES	↔	24,267,681	↔	3,494,124	↔	2,776,181	↔	27,761,805	↔	10,994,520	↔	41,532,505
Farragut ES/OCD	↔	27,342,849	↔	5,892,555	↔	4,254,132	↔	33,235,404	↔	9,305,913	↔	46,795,449
La Ballona ES	↔	24,094,492	↔	5,192,514	↔	3,748,737	⇔	29,287,006	↔	8,200,362	↔	41,236,105
TOTALS	₩	\$ 228,735,777	₩	43,234,403	₩	31,277,560	₩	271,970,180	₩	88,218,174	₩	\$ 391,465,913

CULVER CITY UNIFIED SCHOOL DISTRICT MEASURE E - INTIAL A&E CONSTRUCTION VALUE FOR FEE CALCULATION EL MARINO

PROJECT	主	HARD COSTS	ES(ESCALATION	00	CONTINGENCY (APPLIED LATER)	SO	TOTAL CONSTRUCTION	SC	SOFT COSTS	TOTALF	TOTAL PROJECT	S/H RATIO
New 2-Story Classroom Bldg.	↔	13,950,000	↔	3,006,312	↔	2,170,408	\$	16,956,312	↔	4,747,767	\$ 23,	23,874,487	20%
Modernization	↔	10,622,625	↔	2,289,242	↔	1,652,719	↔	12,911,867	↔	3,615,323	\$ 18,	18,179,909	20%
Site Utilities	↔	1,089,879	↔	234,876	↔	169,569	↔	1,324,755	↔	370,931	&	1,865,255	20%
TOTALS	↔	25,662,504	₩	5,530,430	ક્ક	3,992,696	⇔	31,192,934	₩	8,734,021	\$ 43,	43,919,651	

CULVER CITY UNIFIED SCHOOL DISTRICT MEASURE E - INTIAL A&E CONSTRUCTION VALUE FOR FEE CALCULATION LINWOOD HOWE

					SOS	CONTINGENCY		TOTAL				
PROJECT	H	HARD COSTS	ES(ESCALATION	> -	LATER)	CON	CONSTRUCTION	SO	SOFT COSTS	TOT	TOTAL PROJECT
New 2-Story Classroom Bldg.	↔	12,555,000	↔	2,705,681	↔	1,953,367	↔	15,260,681	↔	4,272,991	↔	21,487,039
Site Utilities	↔	608,251	⇔	131,082	↔	94,635	₩	739,333	↔	207,013	↔	1,040,981
Site Work	↔	254,780	↔	54,907	↔	39,640	\$	309,687	↔	86,712	↔	436,039
Demo	↔	142,550	↔	30,720	\$	22,179	\$	173,270	↔	48,516	↔	243,965
Modernization	↔	7,293,000	↔	1,571,687	↔	1,134,680	₩	8,864,687	↔	2,482,112	↔	12,481,479
Renovation	↔	1,655,400	↔	356,749	↔	257,555	\$	2,012,149	↔	563,402	↔	2,833,106
Site Work	↔	1,751,000	\$	377,351	↔	272,429	\$	2,128,351	↔	595,938	↔	2,996,718
TOTALS	↔	\$ 24,259,981	s	5,228,177	↔	3,774,485	s	29,488,158	s	8,256,684	↔	41,519,327

Preeti D'Souza

From: Rajiv, Santha <santharajiv@ccusd.org> **Sent:** Wednesday, October 16, 2024 11:51 AM

To:Preeti D'SouzaSubject:Requested docs

Attachments: Architect assignment.pdf

24-25 enrollment

Academic Year:	2024-2025	
View:	SNAPSHOT	
Revision ID:	6528140	

School Code	School Name	Total Enrollment
1932201	Culver City High	2010
6057608	Culver City Middle	1524
0128322	Culver City Unified School District iAcademy	0
1932656	Culver Park High	40
6012678	El Marino Elementary	794
6012686	El Rincon Elementary	561
6012694	Farragut Elementary	548
6012702	La Ballona Elementary	529
6012660	Linwood E. Howe Elementary	568
0000001	NPS School Group for Culver City Unified	7
то	TAL - Selected Schools	6581



Santha Rajiv CPA

Assistant Superintendent of Business Services 4034 Irving Place Culver City, CA 90232-2848 (310) 842-4220, Ext 4226.

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DataQuest Home / Enrollment Report

Enrollment Multi-Year Summary by Grade

Linwood E. Howe Elementary Report (19-64444-6012660)

+ Report Description

+ Report Options and Filters

e Ungr Sec	0 0	0 0	0 0	0 0	0 0	0 0	0 0
Grade 12	0	0	0	0	0	0	0
Grade 11							
Grade 10	0	0	0	0	0	0	0
Grade 9	0	0	0	0	0	0	0
Ungr Elem	0	0	0	0	0	0	0
Grade 8	0	0	0	0	0	0	0
Grade 7	0	0	0	0	0	0	0
Grade 6	0	0	0	0	0	0	0
Grade 5	93	87	92	66	83	06	74
Grade 4	06	94	86	88	103	86	86
Grade 3	91	92	92	89	06	103	06
Grade 2	93	85	93	91	91	94	97
Grade Grade Grade TK K 1 2	95	06	82	06	102	100	96
Grade K	79	11	1	96	121	128	120
Grade TK	40	0	0	0	0	0	0
Total	581	559	556	554	290	601	561
Academic Year	2023-24	2022-23	2021-22	2020-21	2019-20	2018-19	2017-18



DataQuest Home / Enrollment Report

Enrollment Multi-Year Summary by Grade

El Marino Elementary Report (19-64444-6012678)

- + Report Description
- + Report Options and Filters

Ungr	0	0	0	0	0	0	0
Grade 12	0	0	0	0	0	0	0
Grade 11	0	0	0	0	0	0	0
Grade 10	0	0	0	0	0	0	0
Grade 9	0	0	0	0	0	0	0
Ungr Elem	0	0	0	0	0	0	0
Grade 8	0	0	0	0	0	0	0
Grade 7	0	0	0	0	0	0	0
Grade 6	0	0	0	0	0	0	0
Grade 5	124	118	129	130	132	130	133
Grade 4	118	130	121	136	134	135	135
Grade 3	122	120	136	135	137	137	137
Grade 2	136	123	128	139	137	139	138
Grade Grade Grade	133	135	129	140	141	138	138
Grade K	133	153	152	159	161	163	161
Grade TK	20	0	0	0	0	0	0
Total	786	622	795	839	842	842	842
Academic Year	2023-24	2022-23	2021-22	2020-21	2019-20	2018-19	2017-18

Project Meeting Report



tBP/Architecture 4611 Teller Avenue Newport Beach, CA 92660

Meeting Date: 10/30/2024

Project: Linwood E. Howe Elementary School

Culver City Unified School District

Present: Santha Rajiv - CCUSD

Ilona Gergi - CCUSD
Preeti Dsouza - Telacu
Blaine Yoder - Telacu
Casy Chabola - Principal

Ian McCullen-Assistant PrincipalCaniella Liber-Linwood TeacherRobin Murran-Linwood Teacher

Kaen Ho Parent Lacey Banis Parent Julie Downing Parent Alicia McCullough Parent Kristen Cruise Parent Lindsey Sherman Contento Parent Nati Soffer Parent Alicia McCelloge Parent

Gary Moon - tBP/Architecture
Hung Cheng - tBP/Architecture
Carolyn Loughrey - tBP/Architecture
Bob Demmond - tBP/Architecture

PURPOSE OF THE MEETING

To kick off the project's programming phase.

DISCUSSION

- 1. Team Introductions and Communication Protocol:
 - a. Attending District staff and design team members were introduced.
 - b. Meeting minutes and presentation documents to be distributed via Google Docs for input.
- 2. Site Needs:
 - a. Special Education capacity (need (2) classrooms).
 - b. Master plan needs to accommodate service spaces:
 - 1. Occupational Therapy
 - 2. Counselors
 - 3. Child Development (OCD)

Linwood E. Howe Elementary School Culver City USD 10/30/24 Page 2

- 4. Speech
- 5. Psych
- c. Additional parking.
- 3. Quick-Start Projects: TBD
- 4. Design Team Tasks:
 - a. Confirm classroom allocations based on teacher-to-student ratio based on grade level
 - b. Confirm number of classrooms per grade based on faculty input and Master Plan projections. Total core classrooms needed: 26.
- Schedule:

a. Programming: 10/30/24-12/20/24
b. Schematic Design: 12/23/24-02/17/25
c. Design Development: 02/18/25-04/15/25
d. Construction Documents: 04/16/25-08/29/25
e. DSA Review/Approval: 09/01/25-04/10/26
f. Bidding: 04/13/26-06/29/26
g. Construction: 07/13/26-10/15/27

6. Meetings:

- a. Bi-weekly faculty/parent meetings next meeting 11/13/24 at 3:30 p.m.
 - 1. tBP to present options for new classroom building(s).
 - Two-story building adjacent to Classroom buildings #4. #5, and #6.
 - Two-story building replacing Kindergarten building #5.
 - Two-story building over parking (12 classrooms).
 - Two-building cluster: Classroom building w/ 6 classrooms, OCD building w/ 6 rooms adjacent to parking lot.
- 7. Budget (Hard Costs):
 - a. The budget for the project is \$16.52 million.

New classroom building: \$15.3 million
 Site Utilities: \$740,000
 Site Work: \$310,000
 Demolition: \$170,000

8. Project Considerations:

- a. Master plan needs to provide for flexibility to respond to student enrollment fluctuations.
- b. Two-story building location: Evaluate code limitations to determine best location for new classroom building.
- c. Consider re-programming campus to provide for campus needs.
- d. Relocate existing portable classrooms as needed.
- e. TK and K are to be located on ground floor.
- f. Number of classrooms in new building to be determined based on campus needs.
- g. Configuration of new building to respond to code and site constraints.
- h. Evaluate space and location for OCD.

Linwood E. Howe Elementary School Culver City USD 10/30/24 Page 3

- i. Dedicated drop-off for OCD (Daycare) desired.
- j. Extend existing parking lot towards District office area, remove portable building.

The above notes document our understanding of items discussed in the above referenced meeting. Unless written notice to the contrary is received within 7 days, the notations will be considered correct and acceptable.

Prepared by: Carolyn Loughrey, tBP/Architecture

DISTRIBUTION

District for distribution, Design Team, File

ATTACHMENTS

tBP's Agenda District's Agenda Project Schedule

Project Meeting Attendance

tBP/Architecture

4611 Teller Avenue

Newport Beach, CA 92660

Robin Murrar

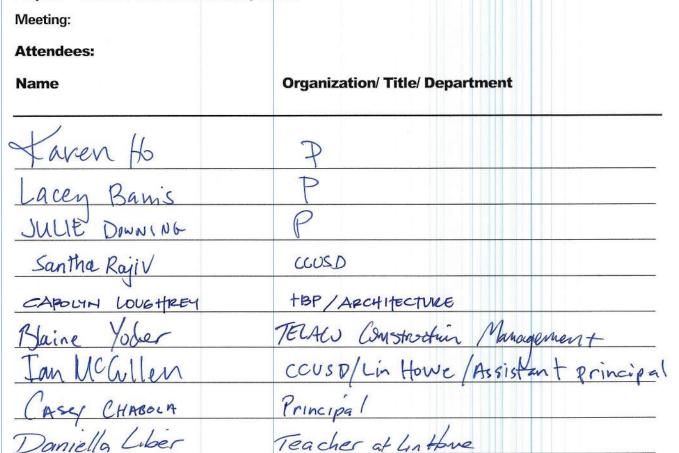
Kristen Cruise

Date:

10/30/2024

Project:

Linwood E. Howe Elementary School



Architecture

Planning Interiors Management

Flora Gergi (OCD) Ilone gergie ccusd.org

Teacher at Lin Home

Project Meeting Attendance

tBP/Architecture

4611 Teller Avenue

Newport Beach, CA 92660

Date:

10/30/2024

Project:

Linwood E. Howe Elementary School

Meeting:

Attendees:

Name

Architecture Planning

Architecture Planning Interiors Management

				I have been been broken		
PREE"	TI D'	SOUZA	TELACU	CONST	MANAGED	451
Nati	Soft	Fec	Parent Parent			
Alicia	Me	Mogh	larent			
						
					·	

Organization/ Title/ Department





Linwood E. Howe Elementary School Agenda

Introductions
Review Phase I projects (FMP)
Review September Meeting Notes
Enrollment Trends

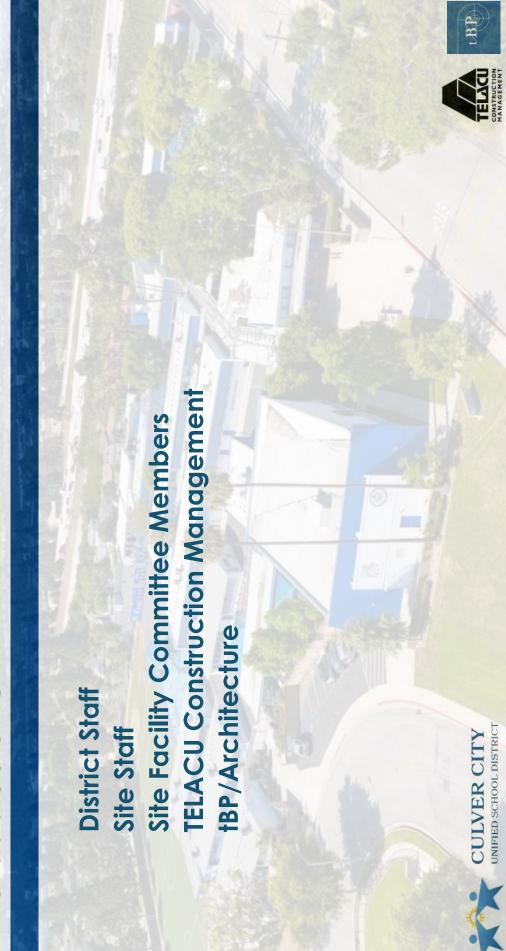
- What is New Construction Vs. Modernization Define Site Needs/ Priorities
- Quick Start projects 2024-2025
 Discuss Design Timeline

Feedback from Site Needs Facility Committee





Linwood E. Howe Elementary School Introductions



Linwood E. Howe Elementary School PHASE 1 SCOPE

Phase 1: \$22.97 million

- 1. Construct a new two-story building, incorporating:
- 1. Five (5) Title 5 compliant kindergarten classrooms
- 2. Six (6) classrooms
- Small support spaces for pull-out programs
- Staff lounge and workroom
- . Restrooms
- 6. Storage
- . Mechanical facilities
- 8. Custodial facilities
- classroom building (Bldg #4) and connecting the second floor with a bridge). Elevator and stairs (note: removing the stair from the adjacent two-story
- 2. Keep existing relocatable classrooms for use as swing space during classroom modernizations.
- 3. New Fencing





Linwood E. Howe Elementary School

Notes from the previous meeting (24/09/30)

10.Site drainage is	The meeting was held to review the Culer City USD 11.Curb around tra	Master plan with the Linwood E. Howe Staff and Parents 12. Irrigation syste	ent needs/ repairs. 13.Fencing slats re
1.0 Purpose:	The meeting was held to revio	Master plan with the Linwooc	and listen to their urgent needs/ repairs.

2.0 Faculty could not attend, a follow up Site Facility

Meeting with the Architects will be needed.

3.0 Master Plan Discussion

1. There are still (2) bathrooms in room 24 and 25 that were not updated. (Where are room 24 and 25?)

2. Add non slip threads to stairs and replace railings.

3. New carpeting

4. Maintenance of HVAC

5. Shade structure at Quad and Kinder area.

6. Lack of storage in classrooms

7. Lockable casework

8. One consistent lock for all staff restrooms

9. Leveling of turf in quad

ems sticking out rack, tripping

emoved

14.Stage doors need to be fixed 15.Parking needed

6.Sensory room needed

18. Where is OCD going? Is it staying at Linwood Howe. 19.OCD bungalows are getting demolished to get 17.New garden space

parking 20.Goal is to have (4) TK and (4) Kinder

21. Nice to have science lab

23. Not much need for outdoor learning space 22.Space for pull out groups

24. Need for indoor learning space 25. Campus security/access

26.Seismic upgrading.

27.2nd floor buildings to connect.





Linwood E. Howe Elementary School

Measure E - Initial A&E Construction Value for Fee Calculation

CULVER CITY UNIFIED SCHOOL DISTRICT MEASURE E - INTIAL A&E CONSTRUCTION VALUE FOR FEE CALCULATION LINWOOD HOWE

PROJECT	¥	HARD COSTS	ËŠ	ESCALATION	OS	CONTINGENCY (APPLIED LATER)	S	TOTAL	S	SOFT COSTS	701	TOTAL PROJECT
New 2-Story Classroom Bldg.	છ	12,555,000	8	2,705,681	છ	1,953,367	\$	15,260,681	₩	4,272,991	↔	21,487,039
Site Utilities	s	608,251	\$	131,082	8	94,635	s	739,333	₩	207,013	↔	1,040,981
Site Work	↔	254,780	↔	54,907	8	39,640	s	309,687	↔	86,712	↔	436,039
Demo	69	142,550	\$	30,720	ક્ક	22,179	s	173,270	↔	48,516	↔	243,965
Modernization	s	7,293,000	8	1,571,687	8	1,134,680	s	8,864,687	↔	2,482,112	↔	12,481,479
Renovation	S	1,655,400	↔	356,749	8	257,555	s	2,012,149	↔	563,402	↔	2,833,106
Site Work	\$	1,751,000	\$	377,351	8	272,429	\$	2,128,351	₩	595,938	↔	2,996,718
TOTALS	s	\$ 24,259,981	s	5,228,177	↔	3,774,485	s,	29,488,158	€	8,256,684	∽	41,519,327





Linwood E. Howe Elementary School **Enrollment numbers**

24-25 enrollment

Linwood E. Howe Elementary Report (19-64444-6012660) SNAPSHOT 2024-2025 6528140 Academic Year: Revision ID:

Enrollment Multi-Year Summary by Grade

♣ Report Description

♣ Report Options and Filters

Ungr Sec	0	0	0	0	0	0	0
Grade 12	0	0	0	0	0	0	0
Grade 11	0	0	0	0	0	0	0
Grade Grade 9 10	0	0	0	0	0	0	0
Grade 9	0	0	0	0	0	0	0
Ungr Elem	0	0	0	0	0	0	0
Grade 8	0	0	0	0	0	0	0
Grade 7	0	0	0	0	0	0	0
Grade 6	0	0	0	0	0	0	0
Grade 5	93	87	92	66	83	90	74
Grade 4	06	94	86	89	103	86	86
Grade 3	91	92	92	88	06	103	06
Grade Grade Grade	93	85	93	91	91	94	97
	95	06	82	06	102	100	94
Grade K	79	11	11	96	121	128	120
Grade TK	40	0	0	0	0	0	0
Total	581	559	556	554	290	601	561
Academic Year	2023-24	2022-23	2021-22	2020-21	2019-20	2018-19	2017-18

School	School Name	Total Enrollment	_
932201	Culver City High	2010	-
8092508	Culver City Middle	1524	
128322	Culver City Unified School District iAcademy	0	
932656	Culver Park High	40	
012678	El Marino Elementary	794	
012686	El Rincon Elementary	561	
012694	Farragut Elementary	548	
012702	La Ballona Elementary	529	
012660	Linwood E. Howe Elementary	568	
1000001	NPS School Group for Culver City Unified	7	
TO	TOTAL - Selected Schools	6581	
***	CIIIVER CITY	A	







Enrollment numbers and Classrooms Linwood E. Howe Elementary School

	plan	45	pplqg		#3	#4	9#	<u>gbld</u>										
ri noitean	master plan	4 ex. Bldg #5	5 New CR bldg		8 ex. Bldg #3	4 ex. Bldg #4	6 ex. Bldg #6	6 New CR bldg										
Number of Location in Number of Classrooms the Classrooms	plan	7	4,	6	ω	7		<u> </u>		24								
Location in the		ex. Bldg #5	ex. Bldg #5		8 ex. Bldg #3	8 ex. Bldg #4	6 ex. Bldg #6				ex. Relo 1	ex. Relo 2	ex. Relo 3	ex. Relo 4	ex. Relo 5			
Number of Classrooms	campus	٢	-	2	8	ω	·		y	22	1						9	
Number of Classrooms		2	4	9	4	4	4	4	4	20								
number of students	classroom	1:20	1:24		1:28	1:28	1:28	1:28	1:28									
P003-24	Enrollment	40	79	119	96	93	91	06	93	5 462								
	Grade	GradeTK	Grade K	Total of TK, K	Grade 1	Grade 2	Grade 3	Grade 4	Grade 5	Total of Grade 1-6	unknown					Total of	Unknown CR	

UNIFIED SCHOOL DISTRICT CULVER CITY

Enrollment numbers and Classrooms Linwood E. Howe Elementary School

Location in	master plan	4 ex. Bldg #5	5 New CR bldg		8 ex. Bldg #3	4 ex. Bldg #4	ex. Bldg #6	6 New CK bldg									
Number of Location in Number of Classrooms the Classrooms the existing existing in master	plan	4	5	6				0		24							
Location in the existing	campus	ex. Bldg #5	ex. Bldg #5		8 ex. Bldg #3	8 ex. Bldg #4	ex. Bldg #6				ex. Relo 1	ex. Relo 2	ex. Relo 3	ex. Relo 4	ex. Relo 5		
Number of Classrooms in the existing	campus	1	1	2	8	8	9			22	1	_	_	_	_	5	
														_			
Number of Classrooms required per	Enrollment	2	4	9	4	4	4	4	7	20							
number of Number of students Classrooms per	classroom Enrollment	1:20	1:24	9	1:28	1:28 4	1:28	1:28 4	1:28	20							
		40 1:20 2		119 6	95 1:28 4	93 1:28 4	91 1:28 4	90 1:28 4	93 1:28	Total of Grade 1-6 462 20							581



Enrollment numbers and Classrooms Linwood E. Howe Elementary School

		number of students	Number of Classrooms	Number of Classrooms	ocation in the	ocation in Number of the Classrooms		
	2023-24	per	required per	in the existing	existing	in master	Location in	
Grade	Enrollment	classroom	Enrollment	campus	campus	plan	master plan	
GradeTK	40	1:20	2	-	x. Bldg #5	4	4 ex. Bldg #5	
Grade K	79	1:24	4	-	x. Bldg #5	9	5 New CR bldg	
Total of TK, K	119		9	2		6		
Grade 1	96	1:28	4	8	ex. Bldg #3	8	8 ex. Bldg #3	
Grade 2	93	1:28	4	∞	ex. Bldg #4	4	4 ex. Bldg #4	
Grade 3	91	1:28	4	9	ex. Bldg #6	9	6 ex. Bldg #6	
Grade 4	06	1:28	4			0	6 New C.R. bldg	
Grade 5	93	1:28	4					
Total of Grade 1-6	462		20	22		24		
uwouyun					x. Relo 1			
				_	ex. Relo 2			
				_	x. Relo 3			
				_	x. Relo 4			
				_	x. Relo 5			
Total of								
Unknown CR				9				
Total	581							





Linwood E. Howe Flementary Crhai

y school	Classrooms
:. nowe Elementary	ent numbers and
LINWOOD E.	Enrollme

Location in master plan	ex. Bldg #5	New CR bldg		ex. Bldg #3	ex. Bldg #4		New CR bldg										
Number of Classrooms in master plan	4	5	6	8	4	9	9	(24								
Number of Location in Number of Classrooms the Classrooms the existing in master campus plan	ex. Bldg #5	ex. Bldg #5		8 ex. Bldg #3	8 ex. Bldg #4	6 ex. Bldg #6				ex. Relo 1	ex. Relo 2	ex. Relo 3	ex. Relo 4	ex. Relo 5			
Number of Classrooms in the existing campus	1	_	2	8	8	9			22	1	_	_	_	-		5	
Number of Classrooms required per Enrollment	2	4	9	4	4	4	4	4	20								
number of students per classroom	1:20	1:24		1:28	1:28	1:28	1:28	1:28									
2023-24 Enrollment	40	79	119	95	93	91	06	93	3 462								581
Grade	GradeTK	Grade K	Total of TK, K	Grade 1	Grade 2	Grade 3	Grade 4	Grade 5	Total of Grade 1-6	unknown					Total of	Unknown CR	Total





Linwood E. Howe Elementary School **CAMPUS PLAN - EXISTING**

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	-	g		Bldg	Bldg	Bldg					0	_					26.3
the the existing campus	ex. Bldg #5	ex. Bldg #5		ex. Bl	eX.	eX.				ex. Relo	ex. Relo 2 ex. Relo 3	ex. Relo	ex. Relo				1000
Number of Locato Classrooms the in the existing existir campus campu	1 ex.		2		eX.				22	1 ex. Relo	1 ex. Keli 1 ex. Rela		Relo		9		
Number of Number of Lot Classrooms Classrooms equired per in the existing Enrollment campus	1 ex.		6 2	eX.	eX.	eX.	4	4	20 22	1 ex. Relo	1 ex. Relic	1 ex. Relo	Relo		9		1000
Classrooms Classrooms required per in the existing Enrollment campus	1 ex.	1 ex.		8 ex.	8 ex.	4 6 ex.	1:28 4	1:28 4		1 ex. Relo	1 ex. Keli	1 ex. Relo	Relo		9		
Classrooms Classrooms required per in the existing Enrollment campus	2 1 ex.	4 1 ex.		4 8 ex.	4 8 ex.	4 6 ex.				1 ex. Relo	1 ex. Keig	1 ex. Relo	Relo		9	281	



Linwood E. Howe Elementary School CAMPUS PLAN/ NEW- 1st Floor



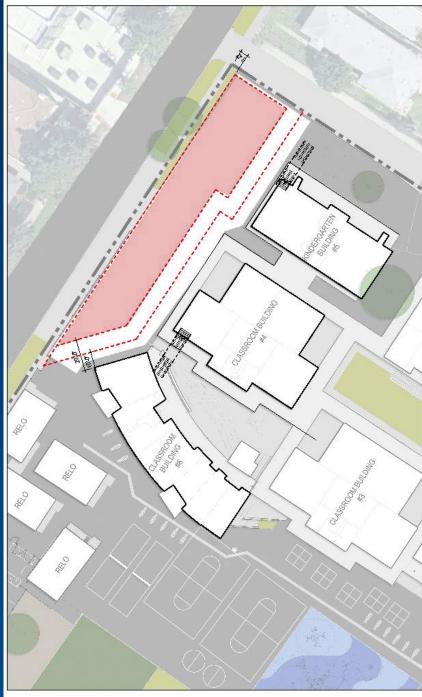
UNIFIED SCHOOL DISTRICT

Linwood E. Howe Elementary School

CAMPUS PLAN/ PHASE NEW - 2nd Floor

Grade Enrollment classroom Enrollment c			number of students	Number of Classrooms	Number of Classrooms		
119		2023-24 nrollment		required per Enrollment	in master plan	Location in master plan	
119		40		2			
119 6 9 9 8 0 8 0 9 93 1.28 4 4 6 0 9 0 90 1.28 4 6 0 0 0 90 1.28 4 6 0 0 0 91 1.28 4 6 0 0 0 92 1.28 4 6 0 0 0 93 1.28 4 7 0 0 94 1.28 4 0 0 0 95 1.28 4 0 0 0 95 1.28 1.28 0 0 96 New CR bldg #4 97 1.28 4 0 0 0 98 New CR bldg #4 90 1.28 4 0 0 0 90 1.28 1.28 0 0 90 1.28 1.28 0 0 90 1.28 1.28 0 0 90 1.28 1.28 0 0 90 1.28 0 0 0 90 1.28 0 0 0 90 1.28 0 0 0 90 1.28 0 0 0 90 1.28 0 0 0 90 1.28 0 0 0 90 1.28 0 0 90 0 0 0	¥	79	1:24	4	4,	5 New CR bldg	
95 1-28 4 8 ex	K, K	119		9	6		
93 1.28 4 4 ex Bldg #4 91 1.28 4 4 6 6 ex Bldg #6 90 1.28 4 4 6 6 ex Bldg #6 93 1.28 4 4 6 6 ex Bldg #6 93 1.28 4 4 6 6 ex Bldg #6 6 New CR bldg 462 20 24 24 CONCRETE ASPHALT: PARKING, DROP OFF 1. LONGER STRUCTURE 1. LONGER	1	96	1:28	4	~	ě.	
91 1-28 4 6 New CR bidg	e 2	93	1:28	4	*	4 ex. Bldg #4	
90 11.28 4 6 New CR bldg 12.88 4 6 New CR bldg 12.88 4 6 New CR bldg 12.88 12	e 3	91	1:28	4		ex. Bldg #6	
462 24 24 24 24 24 24 24	e 4	06	1:28	4		New CR bldg	(B)
581 PROCRAM	le 5	93	1:28	4			0
CONCRETE PROGRAM ASPHALT: PARKING/DROP OFF ADMIN LO STUDENT SUPPORT SPACE LANDSCAPE; PLAY AREAS 2. 1%, PREV & M. 11. COLLABORATION ZONE 2. 1.6% M. 10. STUDENT SUPPORT SPACE LANDSCAPE; PLAY AREAS 2. 1%, PREV & M. 11. COLLABORATION ZONE 2. 1.6% M. 10. STUDENT SHALE SPACE M. 10. S	rade 1-6	462		20	24		30.00
CONCRETE	- -	581					The state of the s
	SH ILDING WZED BUILDING TED BUILDING YCH SHELTER TY OUTLINE R LEARNING		RRETE ALLE PARKING/DROP (SCAPE: PLAY AREAS SCAPE: FIELDS GROUND FR PLAYGRONUD WEATHER TRACK RE DEVELOPMENT	ମ ଧାର୍ୟପ୍ତ, ପ୍ର	11.0 11.1 14.1 14.1 15.5 16.7 17.7 18.8	TUDENT SUPPORT SPACE OLLA SUPPORT SPACE UNCH SHELITER HADE STRUCTURE COCKETS EACHER LOUNGE EXCHER LOUNGE EXTROMS THE COLONGE EXTROMS THE COLONGE THE C	(a) (b) 9-1

Linwood E. Howe Elementary School SITE PLAN – BUILDABLE AREA







EXISTING CAMPUS AND MASTER PLAN Linwood E. Howe Elementary School



Linwood E. Howe Elementary School PROJECT SCHEDULE

Culver City USD LINWOOD E. HOWE ELE		Start Date	CLASSROOMS MODERNIZATION / NEW CONSTRUCTIO	SCHEMATIC DESIGN	DESIGN DEVELOPMENT	CONSTRUCTION DOCUMENTS 4.5 Months	DSA REVIEW/APPROVAL	BID PHASE	CONSTRUCTION PHASE	PROJECT CLOSE-OUT
рор Е. но	, ,	Start Date: 10/1/2024 S O N D	/ NEW CONS	2 Months	3 Months	4.5 Months	7 Months	3 Months	15 Months	3 Months
OWE ELEI	2024	SOND	STRUCTIO							
MENTARY SCHOOL 2-STORY CLASSROOM BUILDING	2025	I F M A M								
CHOOL 2		S V I I								
-STORY		ONO								
CLASSRO	2026	I F M A								
OM BUIL		M						Start Construction S		
DING		SOND						P.		
	2027	I F M A						ng 2026		
		- - W								
		ASOND							☆	
		C								





Linwood E. Howe Elementary School **Quickstarts**

Asphalt and paving

Shade Structure

Drinking Fountains

Painting

Play Structures

Fencing

Artificial Turf

Security Improvements, lighting, camera

Bike Racks





Linwood E. Howe Elementary School Feedback required

Number of Classrooms required in the New Construction New versus Modernized Construction Location of new Classroom building What grades are where Is parking adequate







Thank you!



Project Meeting Report



tBP/Architecture 4611 Teller Avenue Newport Beach, CA 92660

Meeting Date: 11/13/2024

Project: Linwood E. Howe Elementary School

Culver City Unified School District

Present: Santha Rajiv - CCUSD

Ilona Gergi - CCUSD
Preeti Dsouza - Telacu
Blaine Yoder - Telacu
Karin Lopez Telacu
Casy Chabola - Principal

Ian McCullen - Assistant Principal
Daniella Liber - Linwood Teacher
Robin Murran - Linwood Teacher

Kaen Ho Parent Lacey Banis Parent Julie Downing Parent Alicia McCullough Parent Kristen Cruise Parent Lindsey Sherman Contento Parent Nati Soffer Parent Alicia McCelloge Parent Raaj Shankla Parent

Gary Moon - tBP/Architecture
Hung Cheng - tBP/Architecture
Carolyn Loughrey - tBP/Architecture
Bob Demmond - tBP/Architecture

PURPOSE OF THE MEETING

To kick off the project's programming phase.

DISCUSSION

- 1. Space Allocation:
 - a. Classroom sizes for TK and K verified at 1350 square feet.
 - b. Number of students in classrooms verified.
 - c. 33 classrooms needed for site.
 - d. 6 relocatable classrooms to be removed/replaced by new classrooms building.
 - e. Buildable area discussed.
 - 1. Dependent on need to sprinkler existing buildings.
 - 2. Newest classroom building on site is sprinklered.

Linwood E. Howe Elementary School Culver City USD 11/13/24 Page 2

- 3. All options are removing portable classroom buildings from campus.
- 4. Interim housing and phasing for construction needs to be studied.

2. Presentation:

- a. Option A
 - 1. No comments.
- b. Option B
 - 1. Preferred option for TK/K.
 - 2. Construction timeline: 18 months
 - 3. Least disruption to campus
- c. Option C
 - 1. Least costly
 - 2. Distance from cafeteria and restrooms a concern.
 - 3. Single-story design occupying too much space.
- d. Option D
 - 1. No comments
- e. Option E
 - 1. Most costly
- f. Inspiration Boards reviewed
 - 1. Outdoor seating areas desired
 - Green space
 - Trees
 - 2. Areas with mulch and water not desired
 - 3. Design of new buildings to blend in with existing school architecture.

3. Group Discussion:

- a. OCD entry and building location preferred at opposite side of campus as shown in Option A. Locate on Van Buren Place.
- b. OCD playground shares use with campus with scheduled times for use-not desired.
- c. Fire sprinklers required in OCD rooms.
- d. Confirm number of toilets for OCD program.
- e. TK and K classrooms must be on ground floor.
- f. Need designated drop-off zones along Irving Place and Van Buren Place.
- g. Confirm square footage of green space and grass area.
- h. Option B:
 - 1. Preferred option
 - 2. Revise playground to include playground structures.
 - 3. 2-story option should include:
 - 10 classrooms (5 per floor)
 - Sensory rooms
 - 4. Extend turf area to parking lot
 - 5. Needs for resource rooms:
 - Art
 - Music
 - STEM
 - Occupational Therapy (OT)
 - Speech Therapy

Linwood E. Howe Elementary School Culver City USD 11/13/24 Page 3

- TK flexibility (based on enrollment)
- Consider second floor equipped with partition system to allow for flexible room sizes.
- i. Provide areas for trees
- j. Provide shade structure over existing lunch shelter.
- k. Address construction noise and air pollution
 - 1. Heavy construction period during summer.
- 4. Quick-Start Projects:
 - a. Perimeter fencing
- 5. Design Team Tasks:
 - a. Develop Option B.
- 6. Meetings:
 - a. Bi-weekly faculty/parent meetings next meeting 12/11/24 at 3:30 p.m.
 - 1. tBP to present development of Option B.

The above notes document our understanding of items discussed in the above referenced meeting. Unless written notice to the contrary is received within 7 days, the notations will be considered correct and acceptable.

Prepared by: Carolyn Loughrey, tBP/Architecture

DISTRIBUTION

District for distribution, Design Team, File

ATTACHMENTS

Sign-In Sheet

Presentation

Inspiration Boards

Project Meeting Attendance

tBP/Architecture

4611 Teller Avenue

Newport Beach, CA 92660



Architecture Planning Interiors Management

Date:

11/13/2024

Project: 1

Linwood Elementary School

Meeting:

Attendees:

Name	Organization/ Title/ Department
CASIY CHABOLO	Krincipal
A CONTRACTOR OF THE CONTRACTOR	
Blaine Yoder	Vice President - TELACU Construction Mayort.
Lacey Ban's	Parent Lin Howe
Ilona Gergi	OCD ilonagersie ccusal.org
RAAT SHAMLA	OCD ilonagersie Cousd.org PARENT / SITE COMMITTEE
Nati Soffer	Parent
Ian McCullen	Assistant Principal/LH
KAPIL LOPEZ	rcm
Kristen Cruise	parent
Robin Murran	Teacher
Daniella Liber	Teacher
Alicia Mc Cullargh	Parent
CAPOUTH LOUGHERY	TBP
203 DEMMOND	TBP
Santha Raji V	CCUSD
PREETI DSOUZ	A TELACU.



Agenda

Quick Review of Previous Meeting Review Complex Plan Options Red/Green Aesthetic Choices Review Needs/Findings **Quick Start Projects** Introductions **Next Steps**





Quick review of previous meeting Linwood E. Howe Elementary School







EXISTING GRADE CONFIGURATION

2022 MASTER PLAN

Location in master plan	4 ex. Bldg #5	5 New CR bldg		8 ex. Bldg #3	4 ex. Bldg #4	6 ex. Bldg #6	o New CK bldg			
Number of Classrooms in master plan	4	5	6	8	4	Φ (٥		24	
Number of Classrooms required per Enrollment	2	4	9	4	4	4	4	4	20	
number of students per classroom	1:20	1:24		1:28	1:28	1:28	1:28	1:28		
2023-24 Enrollment	40	6/	119	96	93	91	06	93	462	581
Grade	GradeTK	Grade K	Total of TK, K	Grade 1	Grade 2	Grade 3	Grade 4	Grade 5	Total of Grade 1-6	Total

CLASSROOMS NEEDED

PHASE 1 SCOPE:

- include small support spaces for pull-out programs, staff lounge, workroom, restrooms, storage, mechanical, custodial, elevator, Construct a new two-story building with eleven classrooms.
- Keep existing relocatable classrooms in place to use as swing space for classroom modernizations.







Review Needs/Findings

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	Bldg #04 P						-	2					3
	Bldg B			-	-	2							4
	Bldg B						_			2			4
	Bldg Bl					2	-	-					4
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Scho	Number of Classrooms	Enrollment Comp.											
LINWOOD E. HOWE Elementary School	Number of Number of students Classrooms	moo.	1:20	1:20	1:24	1:24	1:24	1:24	1:28	1:28			
Eleme	Number of students	Class											
OWE	2023-24	Enrollment Classroom		40	79	95	93	91	90	93			
E. HO	202	Enro											
COOD		Grade	OCD	ΤK	¥	Grade 1	Grade 2	Grade 3	Grade 4	Grade 5	SDC	Art	
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Title V:

TK/ Kindergarten classrooms: 1350 SF, (including restrooms, storage, teacher preparation, wet and dry areas).

General classrooms, grades 1-12: 960 SF Special Day classrooms: 960 SF (at least)

Title 22 section 7:

Child Care classroom: 35 square feet per student Child Care Play Area: 75 square feet per student





Review Needs/Findings

CONFIGURATION PLANS EXISTING GRADE





2ND FLOOR

6 Portable Buildings to replace



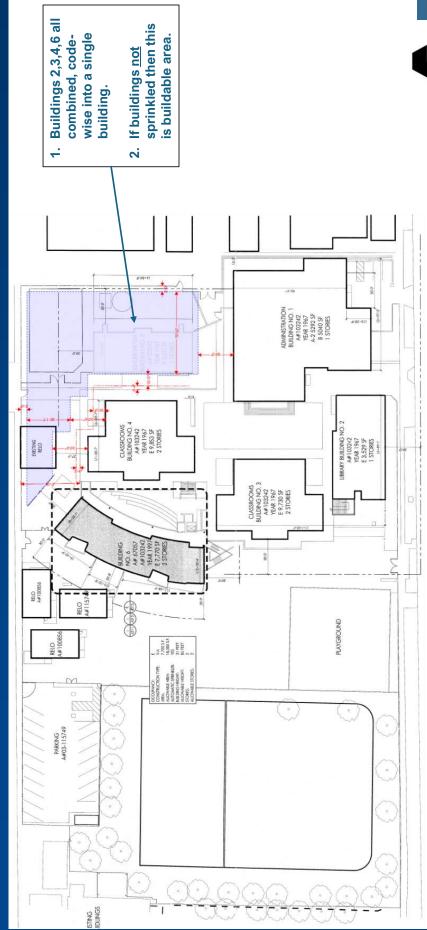








Review Needs/Findings

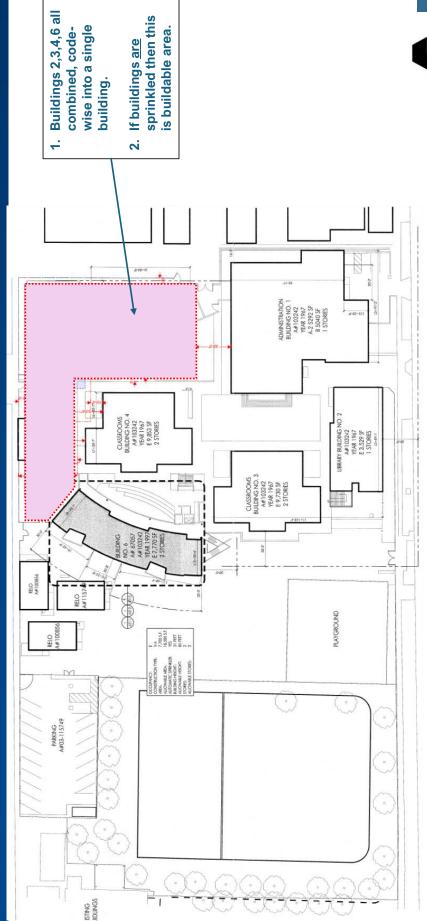




CULVER CITY
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Review Needs/Findings







Complex Plan Options



OPTION A: 2-STORY: 8 New CRs

- 2 Story Building with small footprint.
 - Easy to construct: on edge.
- Separate OCD and TK/K play areas.

Negatives:

- Need to modernize 4 classrooms.
- New campus front image.
- Can't exit directly from OCD/TK/K CRs to play
- Potential requirement for REH seismic upgrades.



OPTION B: 2-STORY: 8 New CRs,

1-STORY: 4 New CRs. (12 total)

Positives:

- 2 Story Building with small footprint. OCD and TK/K each have separate play area.
- Construction at site edge.
- New campus front image

Negatives:

- Have to modernize 2 existing classrooms.
- Must demo 2 existing K classrooms to build.
 - Potential requirement for REH seismic



OPTION C: 2-STORY: 8 New CRs

- 1 Story Building
- Construction at site edge.
- OCD and TK/K each have separate play area.

Negatives:

- · Building occupies more site area.
- Can't exit directly from OCD/TK/K CRs to playground.
- Playground areas for OCD and TK/K are small.



Complex Plan Options



OPTION D: 2-STORY: 11 New CRs

- 2 Story Building with small footprint.
- Very efficient
- Construction at site edge.
- OCD and TK/K each have separate play area.

Negatives:

- If other 2 story classrooms are not sprinkled then cant build.
- Have to modernize 4 existing classrooms. Very challenging to build.
- Must demo 2 existing K classrooms to build.
- Potential requirement for REH seismic upgrades. Will have to add sprinklers to Library building.
 - UNIFIED SCHOOL DISTRICT Shoring to build in tight location.

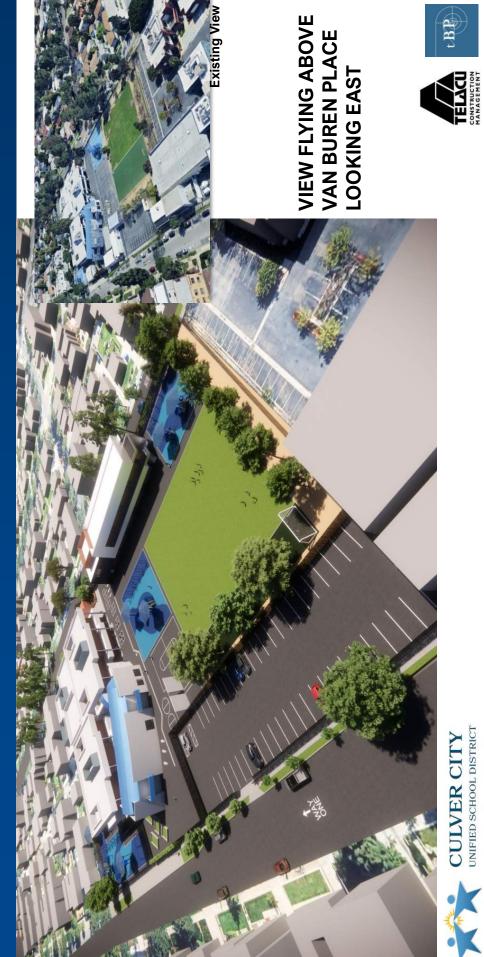


OPTION E: 2-STORY: 8 New CRs over parking.

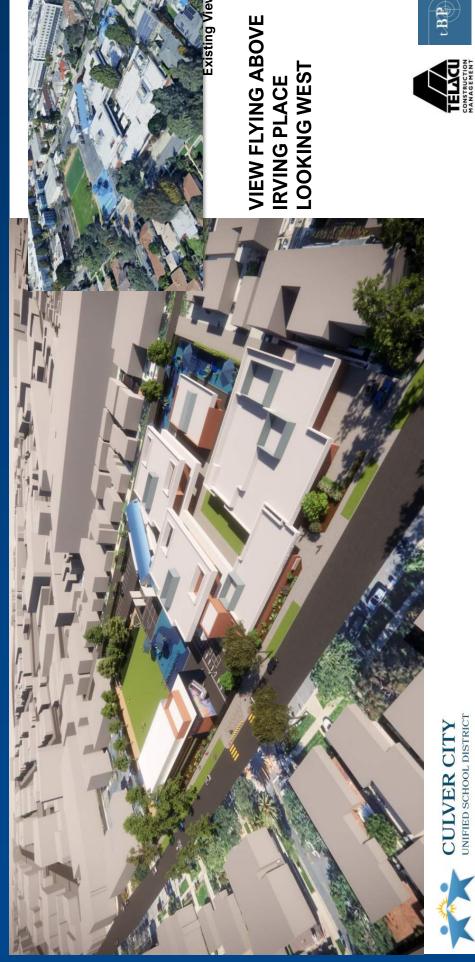
- 2 Story Building over parking with small footprint.
 - Easy to construct: on edge.
- Separate OCD and TK/K play areas.
- Retains most amount of site area for

- No parking during construction.
- Need to modernize 8 classrooms.
- Can't exit directly from OCD/TK/K CRs to playground.
 - Complicated student circulation.
 - Potential requirement for REH seismic upgrades.























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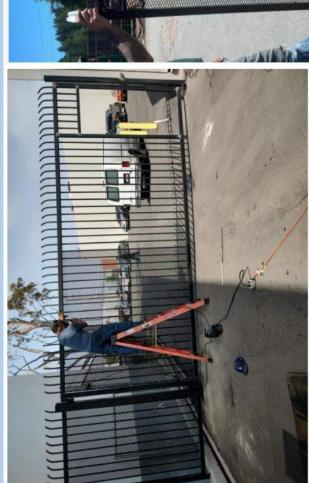






Quick Start Projects

Iron ornamental fence with welded mesh backing





RON ORNAMENTAL FENCING WITH WELDED MESH BACKING (THIS IS THE STYLE WE'VE RECEIVED QUOTES FOR)

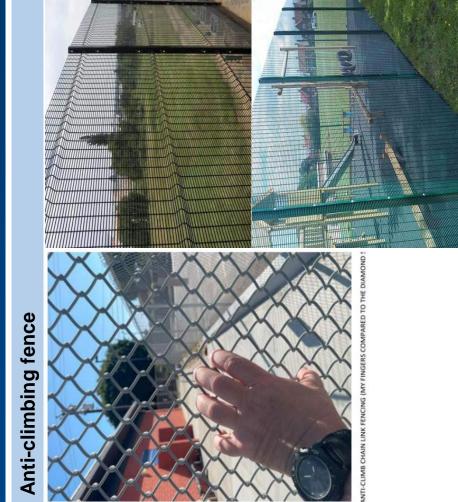




Quick Start Projects

Regular chain link fence









Develop Floor Plans
Develop Quick Start Projects
Tour campus with team







Thank you!





Linwood E. Howe Elementary School **Option A**

OPTION A







Option A – New building location

2ND FLOOR





LINWOOD E. HOWE Elementary School	E. HOWE	Elementary	/ School		
		Number of students	Number of Classrooms		Numb Classro
	2023-24	per	required per		the ex
Grade	Enrollment	Classroom	Enrollment	Comp.	cam
OCD		1:20	4	0	
TK	40	1:20	2	0	
¥	79	1:24	4	Ψ.	
Grade 1	96	1:24	4	0	
Grade 2	93	1:24	4	0	
Grade 3	91	1:24	4	0	
Grade 4	6	1:28	4	Ψ.	

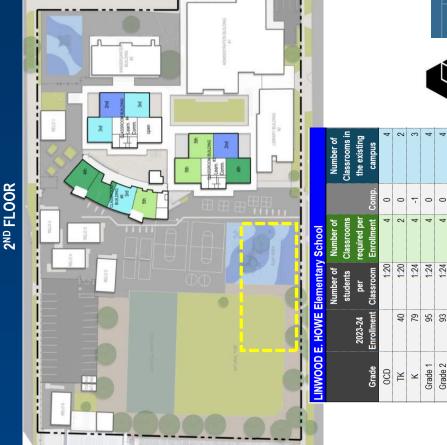




Option A – Sequence 1



Remove play area







1:28

Grade 5

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Grade 4

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Grade 3

Option A – Sequence 2



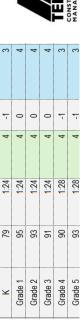
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Number of Classrooms in the existing

equired per

2023-24

1:20

Number of Number of

students

INWOOD E. HOWE Elementary School



Option A – Sequence 3



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OCD	
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- Move OCDs in relos and the classrooms in bldg. #04 to new building.

 Move (1) kinder and (1) TK classroom in bldg. #04 to relos which were occupied by
- Modernize bldg. 04 to accommodate (2) kinder classrooms and (2) TK classrooms.
- Move (1) kinder classroom and (2) TK classrooms from the interim housing to bldg. #4
- Remove relo 1-6





		Number of	Number of		Number
		students	Classrooms		Classroom
	2023-24	per	required per		the existi
Grade	Enrollment	Classroom	Enrollment	Сотр.	campu
OCD		1:20	4	0	
¥	40	1:20	2	0	
¥	79	1:24	4	٢	
rade 1	96	1:24	4	0	
rade 2	93	1:24	4	0	
srade 3	91	1:24	4	0	
rade 4	06	1:28	4	Ţ	



Grade 5

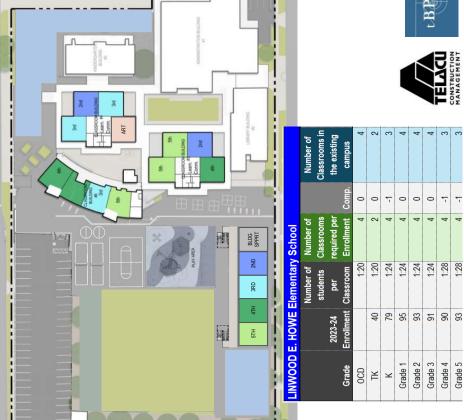
Option A – Final

2ND FLOOR



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	BLDG SPPRT	
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	OCD	
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- New play areas
- Extended parking lot







Linwood E. Howe Elementary School **Option B**



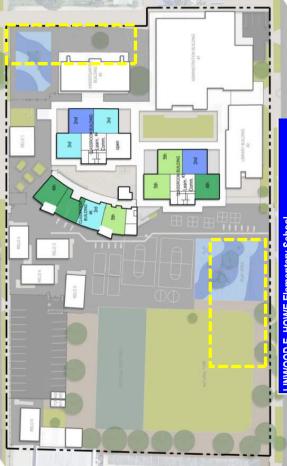
OPTION B



Option B - New building location

2ND FLOOR





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COLLOC	Number of	Classrooms	required per	Enrollment Comp.	4	2	4	4	4	4	4	•
	Number of	students	ber	Classroom	1:20	1:20	1:24	1:24	1:24	1:24	1:28	
LINVIOLD E. HOVYE EIGHIGHIGHY SCHOOL			2023-24	Enrollment		40	79	96	93	91	8	8
				Grade	OCD	T	¥	Grade 1	Grade 2	Grade 3	Grade 4	



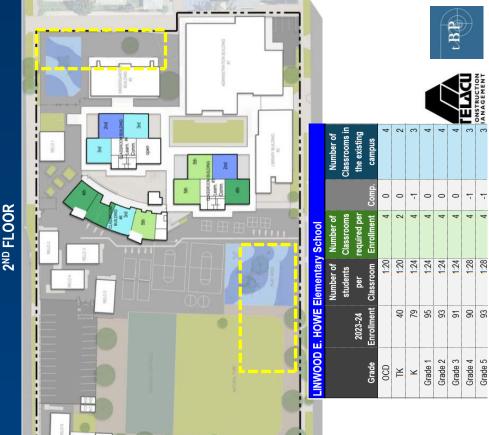
Option B – Sequence 1



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- Remove play areas
- Move (2) kinder classrooms to new interim housings
 - Remove bldg. #5

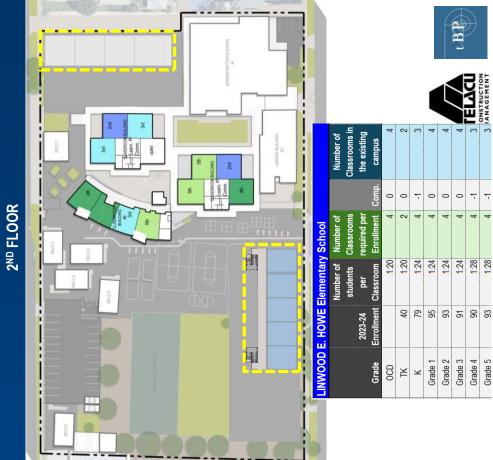




Option B – Sequence 2



Construct new classroom building and kinder building







Option B – Sequence 3

1ST FLOOR



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- Move OCD in relos and classrooms in bldg. #04 to new classroom building.
 - Move (4) kinder classrooms to new kinder building.
- Move (1) TK classroom in bldg. #04 to relos which were occupied by OCD.
- Modernize bldg. 04 to accommodate (1) kinder classroom and (1) TK classroom.
- Move (2) TK classrooms from relos to bldg. #4.
- Remove relo 1-6





Option B – Final



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- New play areas
- Extended parking lot







Linwood E. Howe Elementary School Option C

OPTION C



Option C - New building location

2ND FLOOR





LINWOOD	E. HOWE	LINWOOD E. HOWE Elementary School	/ School		
		Number of students	Number of		Number Classroon
	2023-24	per	required per		the exist
Grade	Enrollment	Classroom	Enrollment	Сотр.	campu
OCD		1:20	4	0	
X	40	1:20	2	0	
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Grade 1	96	1:24	4	0	
Grade 2	93	1:24	4	0	
Grade 3	91	1:24	4	0	
Grade 4	6	1:28	4	۲	

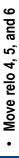




Option C – Sequence 1

1ST FLOOR 4™ GRADE ART & INOV. 2ND GRADE 3RD GRADE 5TH GRADE 1ST GRADE









Option C – Sequence 2

1ST FLOOR 4™ GRADE ART & INOV. 1ST GRADE 2ND GRADE 3RD GRADE 5TH GRADE KINDER 000









Option C – Sequence 3

BLDG#5 OCD RELO 1 1ST FLOOR OCD RELO2 OCD RELO4 ART & INOV. RELO5 OCD RELO6 000 000 4™ GRADE 2ND GRADE 3RD GRADE 5TH GRADE ART & INOV. ST GRADE KINDER 900



- Move classrooms to new locations
- Remove relo. 1-6, bldg. #5 and play area for binder.

 Linder





Option C – Final

2ND FLOOR



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- New parking (32 total)
 - New play areas



UNIFIED SCHOOL DISTRICT CULVER CITY



Linwood E. Howe Elementary School **Option D**

OPTION D



Option D - New building location

2ND FLOOR





Number of Number of Students Number of Students S		Number o	the existin								
NWOOD E. HOWE Elementary School Number of students Students Classrooms Students Classrooms Cl			Сомр.	0	0	-	0	0	0	Τ	
NW/OOD E. HOWE Elementary Number of students 2023-24 per Classroom OCD 1.20 K 7.9 1.24 Clade 1 9.5 1.24 Clade 2 9.3 1.24 Clade 2 9.3 1.24 Clade 3 9.1 1.24 Clade 4 9.0 1.28 1.28 1.28 1.28 Clade 4 9.0 1.28	/ School	Number of Classrooms	required per Enrollment	4	2	4	4	4	4	4	
100 100	Elementary	Number of students	_	1:20	1:20	1:24	1:24	1:24	1:24	1:28	
INWOOD Grade OCD TK K Grade 1 Grade 2 Grade 3 Grade 3	E. HOWE		2023-24 Enrollment		40	79	95	93	91	06	
	LINWOOD		Grade	OCD	TK	¥	Grade 1	Grade 2	Grade 3	Grade 4	





Option D - Sequence 1

1ST FLOOR TH GRADE 2ND GRADE 3RD GRADE 5TH GRADE ART & INOV. ST GRADE KINDER



- Move OCD relo 1 to new location
- Remove kinder play area
 Demo bldg. #6 and move (2) kinder classrooms to new interim housing







Option D – Sequence 2









Option D – Sequence 3

000 BLDG 1ST FLOOR - HONS OCD RELO 3 OCD RELO4 TH GRADE 2ND GRADE 3RD GRADE 5TH GRADE ART & INOV. ST GRADE KINDER



- Move classrooms to new locations
- Modernize bldg. 04 and bldg. 05 to have adequate size of spaces for (4) kinder classrooms.
 - Remove relo 1-6 and bldg. 5





Modernization

Removal



Option D – Final





- New parking (32 total)
 - New play areas





Linwood E. Howe Elementary School Option E



OPTION E



Option E - New building location

2ND FLOOR





LINWOOD	E. HOWE	LINWOOD E. HOWE Elementary School	/ School		
		Number of students	Number of Classrooms		Number Classroom
	2023-24	per	required per		the existi
Grade	Enrollment	Classroom	Enrollment	Сотр.	campus
00CD		1:20	4	0	
TK	40	1:20	2	0	
¥	79	1:24	4	Ψ.	
Grade 1	96	1:24	4	0	
Grade 2	93	1:24	4	0	
Grade 3	91	1:24	4	0	
Grade 4	96	1:28	4	Ţ	





Option E – Sequence '



Move OCD relo 2, 3, 4, 5, and 6 to new location



	Number of Number of Number of Students Classroom	Number of Classrooms		Number o
2023-24 Enrollment	per Classroom	required per Enrollment	Сотр.	the existir campus
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79	1:24	4	-	
95	1:24	4	0	
93	1:24	4	0	
91	1:24	4	0	
8	1:28	4	-	
93	1:28	4	Ţ	





Option E – Sequence 2

3RD FLOOR

2ND FLOOR



Construct new 3 story classroom building with parking on the ground level



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y School	Number of	Classrooms	required per	Enrollment	4	2	4	4	4	4	4
LINWOOD E. HOWE Elementary School	Number of	students	per	Classroom	1:20	1:20	1:24	1:24	1:24	1:24	1:28
E. HOWE			2023-24	Enrollment		40	79	95	93	91	06
LINWOOD				Grade	OCD	TK	¥	Grade 1	Grade 2	Grade 3	Grade 4

Grade 5





Option E – Sequence 3

OCD

3RD FLOOR

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4TH 5TH

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2ND FLOOR



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- Move classrooms to new locations
- Modernize bldg. 04 and bldg. 05 to have adequate size of spaces for (4) kinder classrooms.
- Remove relo 1-6





1:28

Grade 5

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Grade 4

Grade 3

Classrooms in the existing Number of

equired per

2023-24

1:20 1:24 1.24 1.24 1.24

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Grade 1

Grade 2

INWOOD E. HOWE Elementary School



Option E – Final

3RD FLOOR

380 4TH 5TH

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	Num Classr the e	can								
		Comp.	0	0	-	0	0	0	-	
School	Number of Classrooms required per	Enrollment	4	2	4	4	4	4	4	
LINWOOD E. HOWE Elementary School	Number of students per	Classroom	1:20	1:20	1:24	1:24	1:24	1:24	1:28	
E. HOWE	2023-24	Enrollment		40	6/	96	93	91	06	
LINWOOD		Grade	ОСО	¥	ᅩ	Grade 1	Grade 2	Grade 3	Grade 4	





FENCING TYPE

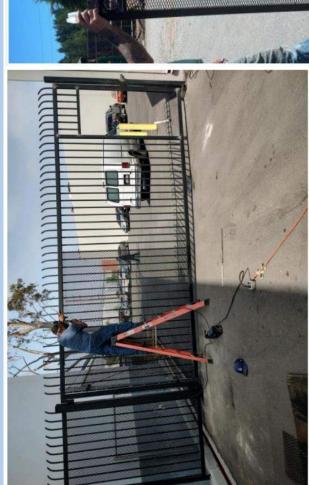
Fencing options for			
El Marino	Option A Iron Ornamental Fencing with Metal Mesh Backing	Option B Diamond size chainlink fencing	If there is an emergency?
COST for 2400 linear Ft	\$270,000	\$170,000	Number of exits
Pros:			
Aesthetics:	Iron ornamental fencing is visually appealing and can enhance the school's appearance, providing a welcoming yet secure environment.	Aesthetics: Chain link fencing is generally less visually appealing than ornamental fencing and may contribute to a more institutional appearance.	Aesthetics: Chain link fencing is generally less visually The El Marino perimeter fencing has approximately eight (8) appealing than ornamental fencing and may pedestrian entrances/exits. Our egress plan for El Marino (and antribute to a more institutional appearance.
	Made from strong materials, iron fencing is highly durable	 Durability: While reasonably durable, chain link fencing is more susceptible to damage from cutting tools and may require more frequent repairs or 	within the school perimeter. Below are the situations where an evacuation/relocation off campus would occur:
Durability:	and resistant to damage from vandalism or weather. The addition of metal mesh backing significantly improves	replacements.	-Active Shooter situation where the shooter is blocking the name of staff and students out on the player und or field
• Security Features:	The aduction of metal mest backing significatiny improves security by making the fence difficult to climb or cut through. The mesh also prevents items. from being passed through the fence		part to start and students out on the playground or help, preventing them from seeking a lockdown inside a building or classroom. If this occurs, the teachers and students would leave the school campus through the pedestrian gates. There
ł	The height and design of ornamental fencing, especially with pointed tops, can act as a strong deterrent to	rence: Despite anti-climb features, ng may still be perceived as easier to ore solid barriers, potentially attracting	are pedestrian gates on ALL sides of the campus, offering multiple options for egress.
• Deterrence:	intruders.	more attempts	 -Fire burning the structures and preventing unhealthy
Cons:		6 30	air/breathing conditions. If this occurs, the teachers and
	Iron ornamental fencing is more expensive than chain link		students would leave the school campus through the
	fencing, both in terms of initial installation and	Cost-Effective: Chain link fencing is more affordable	pedestrian gates. There are pedestrian gates on ALL sides of
• Cost:	increases costs.	installation and maintenance	the campus, orienting maniple options for egless.
			-Earthquake: strong enough to cause buildings to collapse, gas
	Installing this type of fencing requires specialized labor and more time, which could lead to higher installation costs and	 Ease of Installation: It is easier and quicker to install, allowing for rapid deployment across large 	leaks, or other hazards preventing safe occupation of the campus. If this occurs, the teachers and students would leave
 Installation Complexity: 	longer timelines.		the school campus through the pedestrian gates. There are
	While the metal mesh backing improves security, it may slightly reduce visibility compared to open-style fencing,	Visibility: Chain link fencing provides excellent visibility, allowing for unobstructed surveillance and	pedestrian gates on ALL sides of the campus, offering multiple options for egress.
 Visibility: 	which could affect surveillance efforts if cameras are used.	monitoring of the perimeter.	ALL classrooms are within a 30-60 second walk of an egress
Security Benefits:	 The combination of iron fencing with metal mesh backing offers robust protection against climbing and cutting, making it difficult for intruders to breach. 		point, allowing for a rapid relocation from the campus.
	Its appearance and physical barrier provide a		evacuate/relocate to one of two pre-designated locations in a
	psychological deterrent, reducing the likelihood of attempts		supervised manner. Those locations are:
Security Benefits:	to breach the perimeter.		
	 The higher cost may limit the extent of its deployment 		1. Blanco Park
Weaknesses:	across large perimeters.		2. Rite Aid parking lot
	The solid structure of the fence may offer intruders more		
M/ordinated and an artist and artist	opportunities to conceal their activities if surveillance is not		SNOO
Weaknesses:	adequately managed.		





Linwood E. Howe Elementary School **FENCING TYPE**

Iron ornamental fence with welded mesh backing





IRON ORNAMENTAL FENCING WITH WELDED MESH BACKING (THIS IS THE STYLE WE'VE RECEIVED QUOTES FOR)





FENCING TYPE

Regular chain link fence





REGULAR CHAIN LINK FENCING (MY FINGERS COMPARED TO THE DIAMOND SIZE



Thank you!

















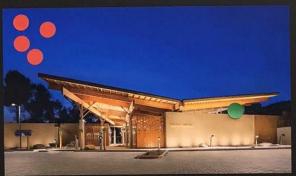




















ARCHITECTURE



































OUTDOOR LEARNING ENVIRONMENTS

Project Meeting Report



tBP/Architecture 4611 Teller Avenue Newport Beach, CA 92660

Meeting Date: 12/16/2024

Project: Linwood E. Howe Elementary School

Culver City Unified School District

Present: Santha Rajiv - CCUSD

Ilona Gergi - OCD Director

Preeti D'souza - Telacu Karin Lopez Telacu Casy Chabola - Principal

Robin Murran - Linwood Teacher Steven Acostc - Linwood Teacher

Kaen Ho Parent Lacey Banis Parent Alicia McCullough Parent Kristen Cruise Parent Lindsey Sherman Contento Parent Nati Soffer Parent Alicia McCelloge Parent Raaj Shankla Parent

Gary Moon - tBP/Architecture
Hung Cheng - tBP/Architecture
Carolyn Loughrey - tBP/Architecture

PURPOSE OF THE MEETING

To continue the programming phase discussions.

DISCUSSION

- 1. Overview of Previous Meeting:
 - a. Option B the (8) Classroom 2-story building and the new 1-story kindergarten building was the preferred option for campus.
 - b. The OCD entry and building preferred to be located off Van Buran Place.
 - c. OCD currently shares the playground with the rest of campus, and this is not desired.
 - d. TK and kindergarten classrooms must be on the first floor.
 - e. Drop-off zones desired along Irving Place and Van Buran Place.
 - f. Resource rooms are needed, art, music, STEM, occupational therapy, and speech.
 - g. The turf area should be extended to the proposed parking lot.
 - h. Shade structure over existing lunch area.

2. Quick-Start Projects:

- a. Shade structure the allow area for the shade structure is 2,420 s.f. This would cover most of the lunch area. The shade structure per code needs to be a minimum of 5'-0" from any existing building.
- b. The team requested some retractable options, The site does not want the entire lunch area always shaded.
- c. The shade structure is only to provide shade, not water resistant.
- d. tBP should keep in mind that students should not be able to jump on top of the shade from the adjacent second floor balcony. Also, the view from the balcony shall not be blocked.

3. Chosen Option:

The option chosen at the previous meeting was Option B, which provided a new 2-story (8) classroom building along Irving Place and a 1-story Kindergarten building perpendicular to Van Buran Place.

- a. The site needs (2) TK classrooms (1350 s.f.) and (3) kindergarten classrooms and need to remodel the existing kindergarten classrooms.
- b. OCD & TK need to be on the first floor of the building.
- c. The existing playground areas are being replaced.
- d. The team is concerned about losing 2/3 of the green space and the site needs the green space. The number of parking stalls can be reduced to provide more green space.
- e. tBP shall provide options to maximize the green space and check the square footages of the green space noted on the plan.
- f. Artificial turf shall be used for the green space.
- g. The option of having the building above the parking lot is too expensive.
- h. The team would like to see an option for lighter colored hardcourts.
- i. Per the Ed Specs, the classrooms shall be around a common space.

4. Development Options:

- a. The playground for the OCD needs to be fenced off from the rest of the campus.
- b. tBP is to provide options for the learning commons / break out spaces.
- c. Pros and cons for the L-shaped building shall be provided to the team for review.
- d. The L-shaped building shall be located next to the District Office.
- e. The team would like to see options for the green space, play areas, and building locations.
- f. tBP shall survey the campus to see how it is used.
- g. The chosen option building should be as thin and compact as possible up against Irving Place.
- h. Removing the warehouse and shifting the parking lot towards the district office would allow for more green space. The District will check if that is possible.

5. Phases & Master Plan:

- a. The master plan shows the other phases for the future projects for the site.
- b. tBP is only contracted to do phase 1.
- c. The team wants to ensure there is a master plan that works for the site, best use of the space and site.

Linwood E. Howe Elementary School Culver City USD 12/16/24 Page 3

6. Inspiration Boards:

- a. From the inspiration boards presented at our previous meeting, tBP developed some building massing for review and comment.
- b. The building massing for the new classroom building along Irving Place and its relationship to the play / green area and the parking lot was presented.
- c. Views from different angles were presented for the proposed building location.
- d. The massing is not the final building design.
- e. The kindergarten building was presented, and the flat roof option was preferred, since it will be easier to maintain.
- f. Solar will be part of this project since it is required by code.

7. Action Items:

- a. tBP shall provide site plan options that maximizes the green space.
- b. tBP to provide an option with the new building pushed up against the District Office side of the site.
- c. tBP is to provide a site plan reducing the parking lot to allow for more green space.
- d. The OCD playground size requirement shall be confirmed for their licensing.
- e. The site wants to see the type of trees that will be proposed for the project to ensure they do not drop fruit.

8. Next Meeting:

a. The next meeting is scheduled for January 15th at 3:30 p.m.

The above notes document our understanding of items discussed in the above-mentioned meeting. Unless written notice to the contrary is received within 7 days, the notations will be considered correct and acceptable.

Prepared by: Carolyn Loughrey, tBP/Architecture

DISTRIBUTION

District for distribution, Design Team, File

ATTACHMENTS

Sign-In Sheet

Presentation

■ Project Meeting Attendance

tBP/Architecture

4611 Teller Avenue

Newport Beach, CA 92660



Architecture Planning Interiors Management

Date: DFC. 16, 2024

Project: LIHWOOD E. HOWE

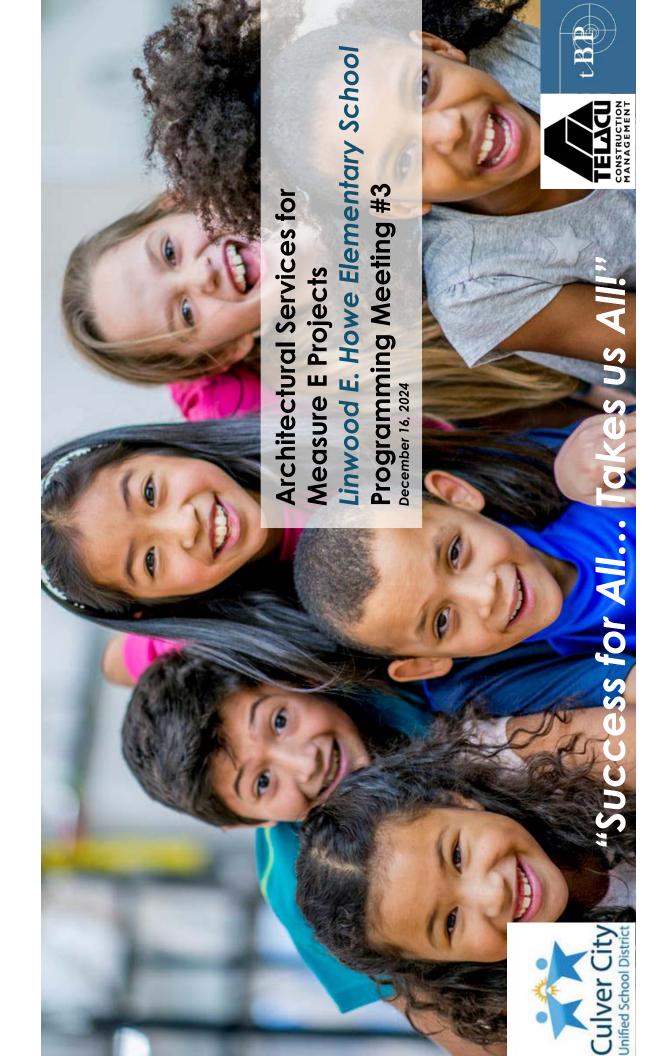
Meeting: PROGRAMMING MG. No.3

Attendees:

Name

Organization/ Title/ Department

CASUL CHABOLA	LH Principal
Stever Acostc	LH Tech
UNDSEY CONTENTO	PAKENT.
KARIW LOPEZ	TELACU
Ilona Gergi	OCD Director
Nati Soffer	LH Parent
Kristen Cruise	LH Pavent
Robin Murran	LH Teacher
PERSON DEOUTH	TELAZU.
Lacen Bus	Para
RAAS SHANKU	LH PARENT.
Faren Ho	LA Parent
Alicia Mc Cullough	Parent
Santha Rajiv	CCUSD





Quick Review of Previous Meeting Project Phasing Floor Plan Development Next Steps



Group Discussion

- OCD entry and building location preferred at opposite side of campus as shown in Option A. Locate on Van Buren Place.
- OCD playground shares use with campus with scheduled times for use—not desired.
- Fire sprinklers required in OCD rooms.
- Confirm number of toilets for OCD program.
- TK and K classrooms must be on ground floor.

ë

- Need designated drop-off zones along Irving Place and Van Buren Place.
 - Confirm square footage of green space and grass area. ם ב
- 1. Preferred option
- 2. Revise playground to include playground structures.
- 2-story option should include:
- 10 classrooms (5 per floor)
- Sensory rooms
- 4. Extend turf area to parking lot 5. Needs for resource rooms:
- Music
- STEM
- Occupational Therapy (OT)
 - Speech Therapy
- TK flexibility (based on enrollment)
- Consider second floor equipped with partition system to allow for flexible room sizes.
 - Provide areas for trees
- Provide shade structure over existing lunch shelter. j. Provide shade structure over existing lunch sk. Address construction noise and air pollution
 - 1. Heavy construction period during summer.
- UNIFIED SCHOOL DISTRICT CULVER CITY





Quick review of previous meeting Linwood E. Howe Elementary School





4 New CRs. (12 total)

OPTION C: 2-STORY: 8 New CRs



OPTION E: 2-STORY: 8 New CRs over parking.



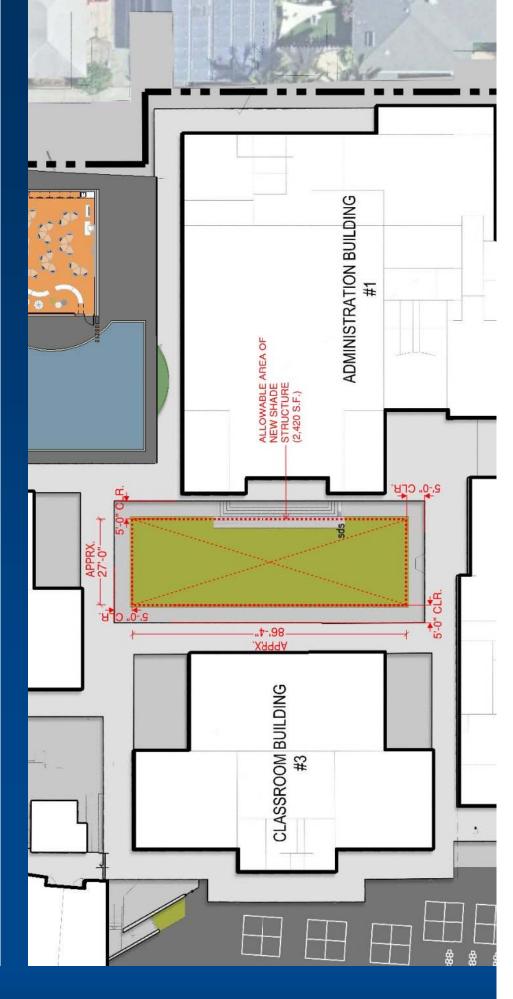
OPTION D: 2-STORY: 11 New CRs







Quick Start Project: Shade Structure Linwood E. Howe Elementary School





Linwood E. Howe Elementary School **Option B**

CHOSEN OPTION



Linwood E. Howe Elementary School **Today and Completion**





t.B.P

SPECIAL CR ART & INOV.

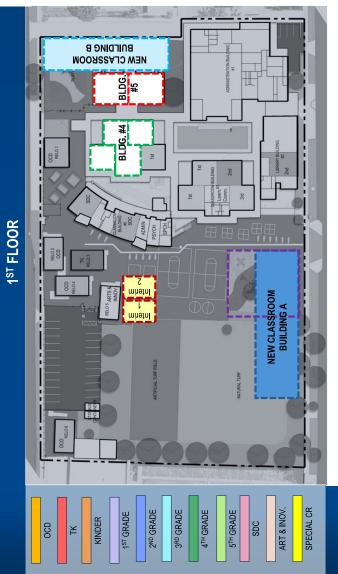
5TH GRADE

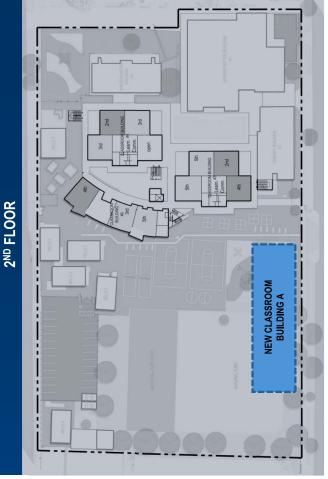
2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER

Linwood E. Howe Elementary School **Impact**





- (1) new one-story building with (4) kinder classrooms. (ASF)
- (1) new two-story building with (10) regular classrooms. (ASF)
- Modernization: (3) classrooms @ bldg. #4
- CULVER CITY
 UNIFIED SCHOOL DISTRICT



- Demolish bldg. #5
- Demolish play area and rebuild at new location





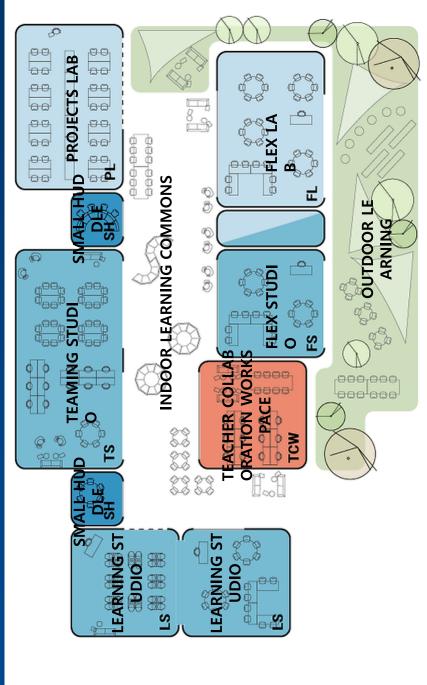
OPTION DEVELOPMENT

Linwood E. Howe Elementary School

Option B



Small Learning Communities: Elementary School Linwood E. Howe Elementary School











LBZ

New Classroom Building A – Option 1 Linwood E. Howe Elementary School

Campus Plan



ART & INOV.

2ND GRADE 3RD GRADE

1ST GRADE

KINDER

OCD

4TH GRADE

5TH GRADE



New Classroom Building A- Option 2 Linwood E. Howe Elementary School

Campus Plan



ART & INOV.

2ND GRADE 3RD GRADE

1ST GRADE

KINDER

OCD

4TH GRADE

5TH GRADE



tBB.

1.B/B

New Classroom Building A – Option 3 Linwood E. Howe Elementary School

Campus Plan



ART & INOV.

2ND GRADE 3RD GRADE

1ST GRADE

KINDER

OCD

4TH GRADE

5TH GRADE



New Classroom Building – Option 4 Linwood E. Howe Elementary School

Campus Plan



ART & INOV.

5TH GRADE

3RD GRADE

1ST GRADE

KINDER

OCD



tBB

Linwood E. Howe Elementary School **Option Development**



Linwood E. Howe Elementary School **Inspiration Boards**



Observations

- Like using materials of brick and white stucco so that the new buildings are similar to the original buildings.
- Don't want to have buildings with bright colors or metal panels
 - Don't want to have dark colored buildings or exposed wood.



ARCHITECTURE







Street view along Irving Place

tBB)

Street view along Irving Place

tBB



Linwood E. Howe Elementary School

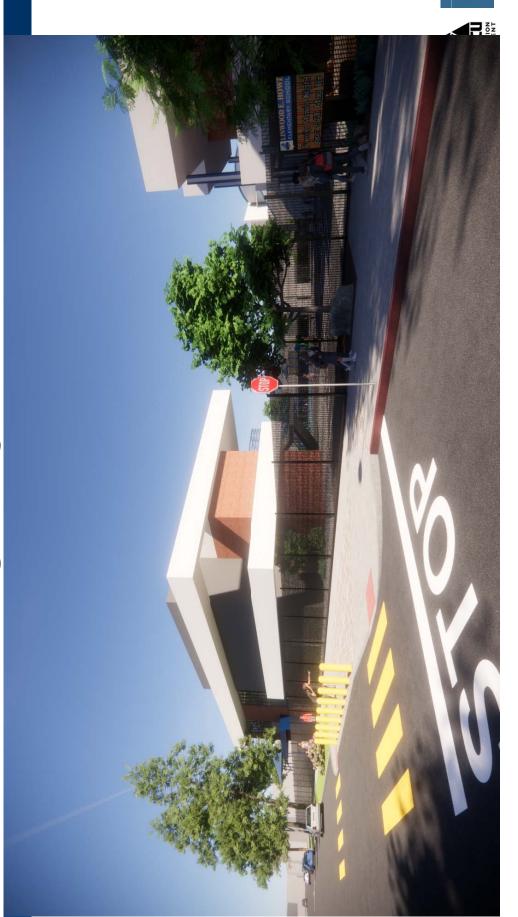
Option 3: Massing Study





t.B.P.

Street view along Irving Place





Linwood E. Howe Elementary School Kindergarten Option 1





Linwood E. Howe Elementary School Kindergarten Option 2







LBB

New Classroom Building A – Option 1 Linwood E. Howe Elementary School

Campus Plan



ART & INOV.

2ND GRADE 3RD GRADE

1ST GRADE

KINDER

4TH GRADE

5TH GRADE





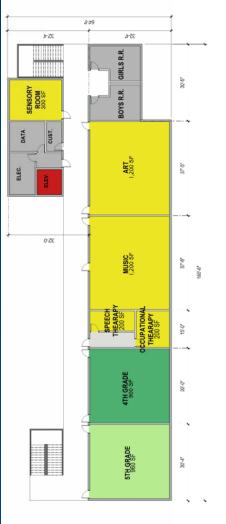
Linwood E. Howe Elementary School **Option B**

ENLARGED PLANS

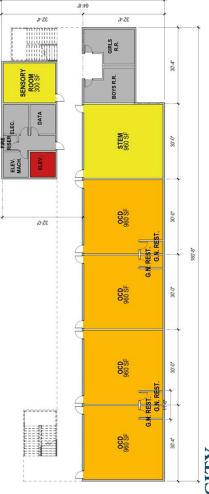




New Classroom Building A – Option 1 Linwood E. Howe Elementary School



2ND Floor Plan



ART & INOV.

3RD GRADE

4TH GRADE

5TH GRADE

SDC

2ND GRADE

1ST GRADE

KINDER

90 *

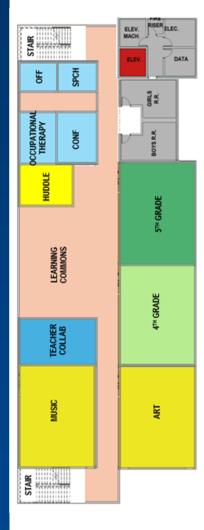








New Classroom Building A – Option 2 Linwood E. Howe Elementary School

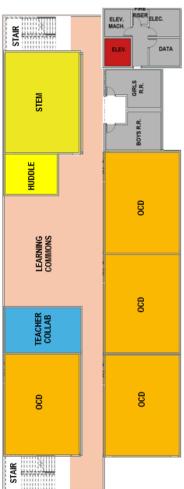


2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER

90 * 2ND Floor Plan



ART & INOV.

5TH GRADE

SDC

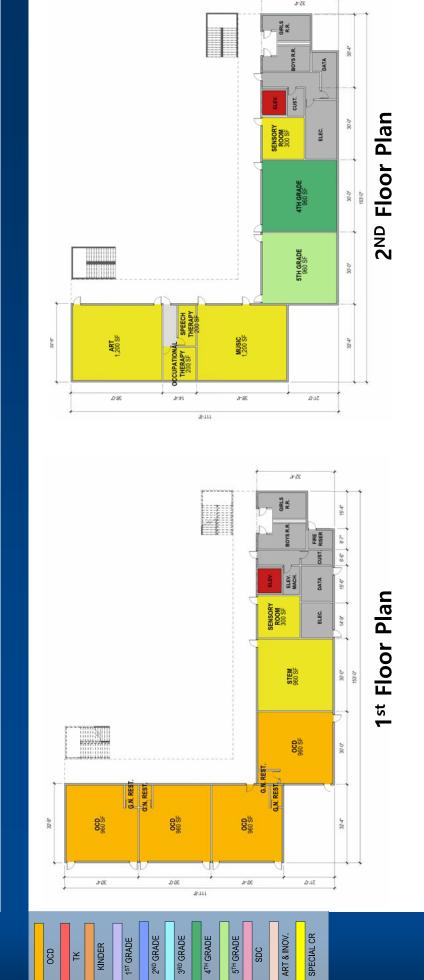








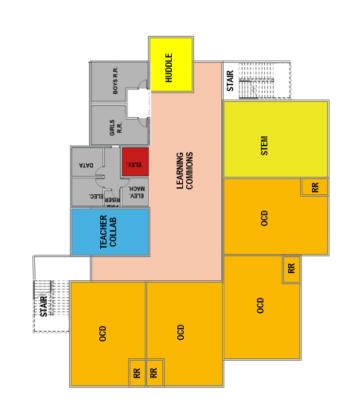
New Classroom Building A – Option 3 Linwood E. Howe Elementary School







New Classroom Building A – Option 4 Linwood E. Howe Elementary School



3RD GRADE

1ST GRADE

KINDER

90 * HUDDLE

LEARNING COMMONS

MUSIC

BOYS R.R.

GIRLS R.R.

TEACHER

ART

ATAG

STAIR

STAIR

4TH GRADE

5™ GRADE

OCCUPATIONAL SPCH THERAPY

ART & INOV.

5™ GRADE

SDC

CONF



1st Floor Plan











ENLARGED PLANS

Linwood E. Howe Elementary School

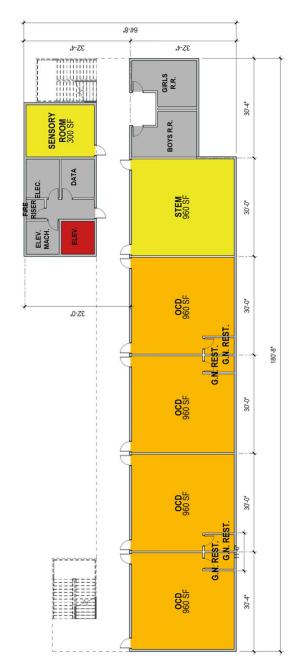
Option B





New Classroom Building A – Option 1 Linwood E. Howe Elementary School

1st Floor Plan



SPECIAL CR

ART & INOV.

5TH GRADE

SDC

3RD GRADE 4TH GRADE

2ND GRADE

1ST GRADE

KINDER



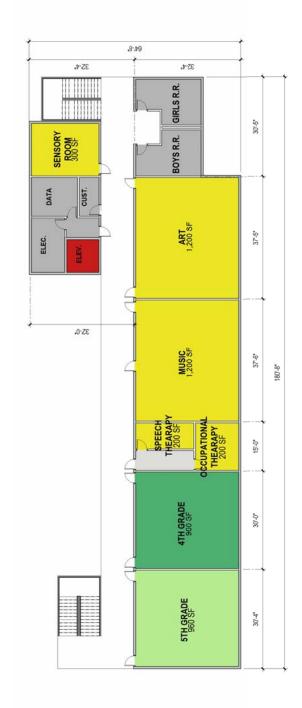






New Classroom Building A – Option 1 Linwood E. Howe Elementary School

2nd Floor Plan



ART & INOV.

SPECIAL CR

5TH GRADE

SDC

2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER

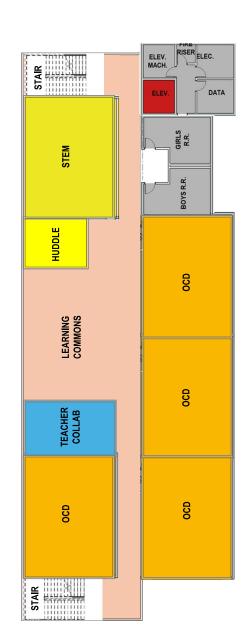






New Classroom Building A – Option 2 Linwood E. Howe Elementary School

1st Floor Plan



SPECIAL CR ART & INOV.

3RD GRADE 4TH GRADE

5TH GRADE

SDC

2ND GRADE

1ST GRADE

KINDER

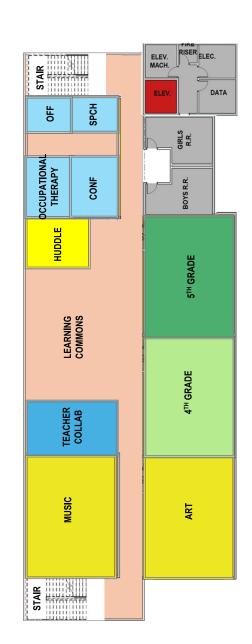






New Classroom Building A – Option 2 Linwood E. Howe Elementary School

2nd Floor Plan



SPECIAL CR ART & INOV.

5TH GRADE

SDC

2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER

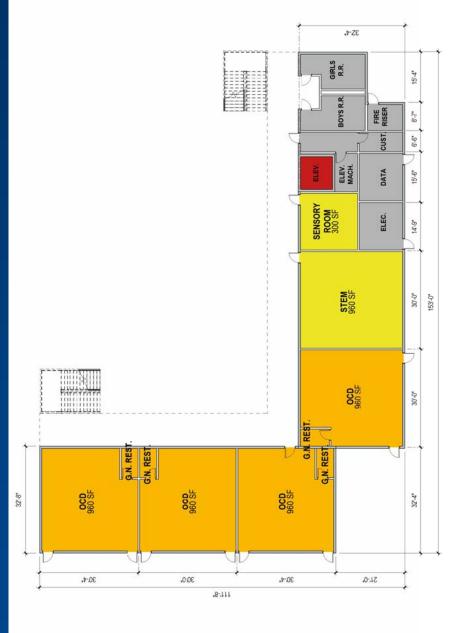






New Classroom Building A – Option 3 Linwood E. Howe Elementary School

1st Floor Plan



SPECIAL CR ART & INOV.

2ND GRADE

1ST GRADE

KINDER

000 ¥

4TH GRADE 3RD GRADE

5TH GRADE

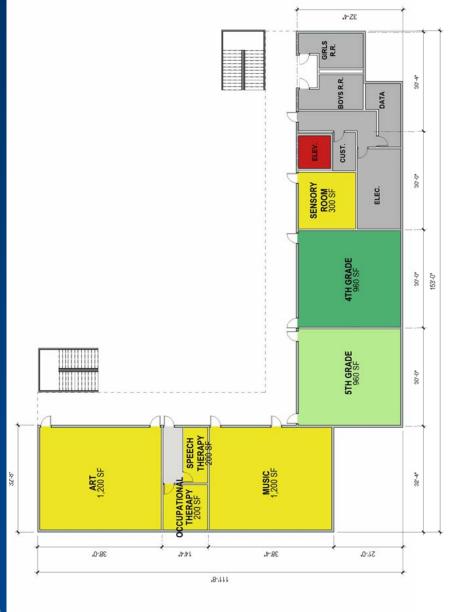




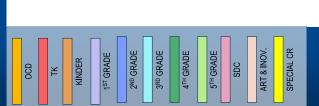


New Classroom Building A – Option 3 Linwood E. Howe Elementary School

2nd Floor Plan



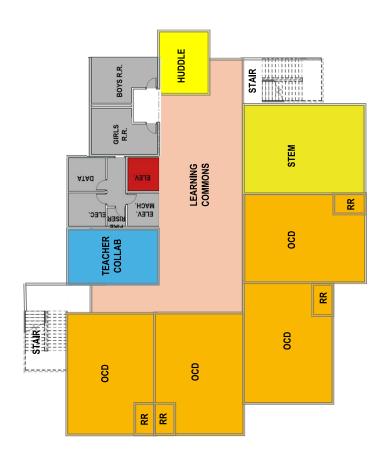




LRIB. TELACU CONSTRUCTION MANAGEMENT

New Classroom Building A – Option 4 Linwood E. Howe Elementary School

1st Floor Plan



SPECIAL CR ART & INOV.

5TH GRADE

SDC

2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

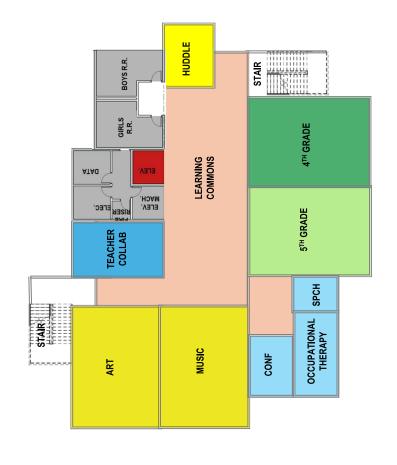
KINDER





New Classroom Building A – Option 4 Linwood E. Howe Elementary School

2nd Floor Plan



SPECIAL CR ART & INOV.

5TH GRADE

SDC

2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER

000 ¥

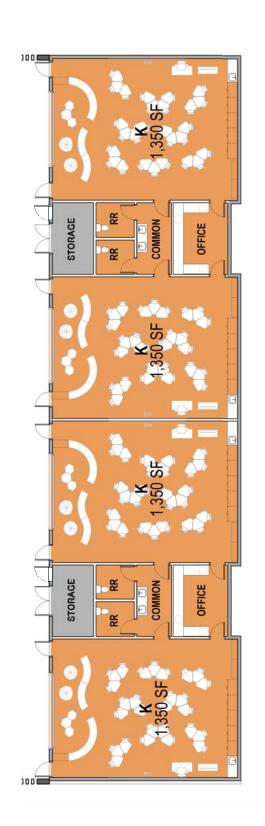






Linwood E. Howe Elementary School **New Classroom Building B**

Floor Plan



ART & INOV. SPECIAL CR

5TH GRADE

SDC

2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER









		GSF Notes (65% eff)	5,938 - (1) gender netural restroom	5,938	1,846	1,846	1,062 - (1) per floor	308	308								17,246	
Culver City Unified School District	Linwood E. Howe Elementary School New Classroom Building A	Total Area (6	 3,860	3,860	1,200	1,200	069	200	200								 11,210	
ified Sch	ood E. Howe Elementary Sc New Classroom Building A	ASF	965	965	1,200	1,200	345	200	200	100	100	300	80	06	06	09	***********	
er City Ur	od E. Hove	Quantity	4	4	-	-	2	-	-	-	-	2	-	-	-	-		
Culv	Linwo	Existing Bldg																
		Space #																
		Room Name	000	Classroom	Art classroom	Music classroom	Sensory room	Occupational Therapy	Speech Therapy	Electrical	Data	Restroom	Custodial	Elevator Machine room	Elevator	Fireriser	Total	Notes









New Classroom Building B – Program Linwood E. Howe Elementary School

	Cuh	ver City Unified School Distr ood E. Howe Elementary Sc New Classroom Building B	iified Scho we Elemer sroom Bui	Culver City Unified School District Linwood E. Howe Elementary School New Classroom Building B		
Room Name	# Existing	Quantity	ASF	Total Area	GSF (65% eff)	Notes
Kinder classroom		2	1,350	2,700	4,154	
- Restroom		2	64			
- Commual handwash area		1	100			
- Teacher work space		1	160			
- Storage		1	100			
Kinder classroom		2	1,350	2,700	4,154	
- Restroom		2	64			
- Commual handwash area		1	100			
- Teacher work space		1	160			
- Storage		1	100			
Electrical/ Data		-	100			
Total				5,400	8,308	
Notes						





(1879)

Linwood E. Howe Elementary School **New Classroom Building B**

Campus Plan



ART & INOV.

2ND GRADE 3RD GRADE

1ST GRADE

KINDER

4TH GRADE

5TH GRADE





Develop Floor Plans
Develop Quick Start Projects
Tour campus with team



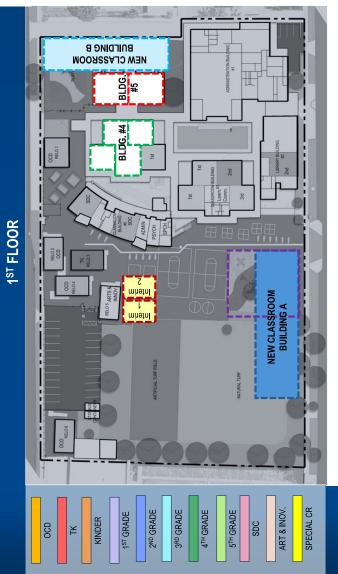


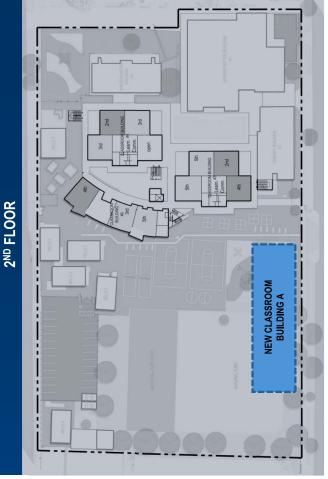
Thank you

Linwood E. Howe Elementary School



Linwood E. Howe Elementary School **Impact**





- (1) new one-story building with (4) kinder classrooms. (ASF)
- (1) new two-story building with (10) regular classrooms. (ASF)
- Modernization: (3) classrooms @ bldg. #4
- CULVER CITY
 UNIFIED SCHOOL DISTRICT



- Demolish bldg. #5
- Demolish play area and rebuild at new location



Linwood E. Howe Elementary School **New building location**



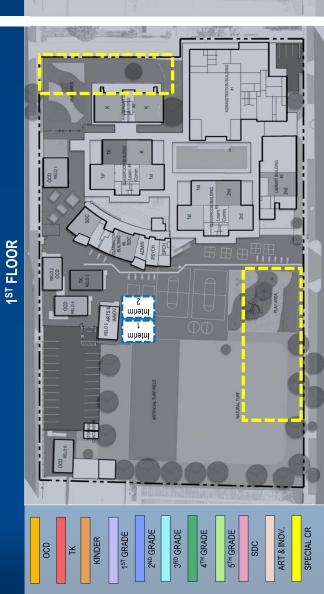


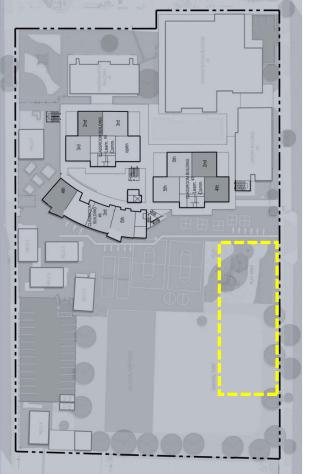






2ND FLOOR



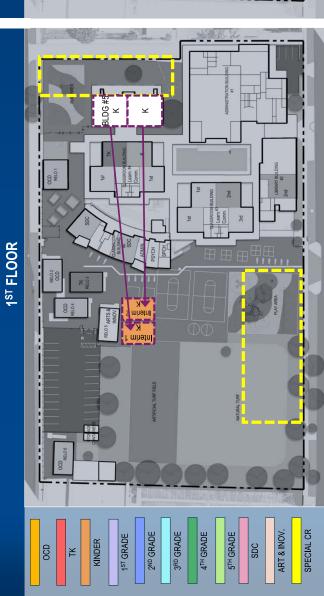


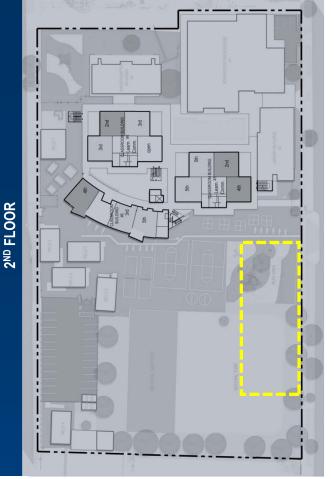










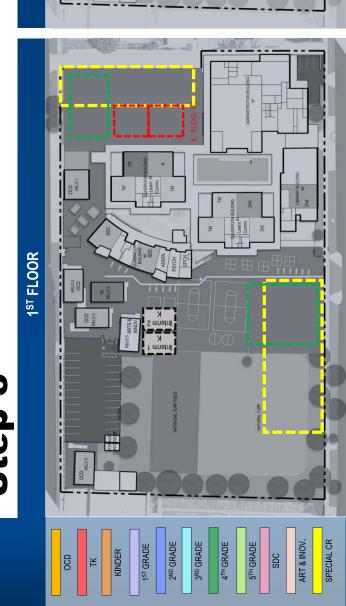


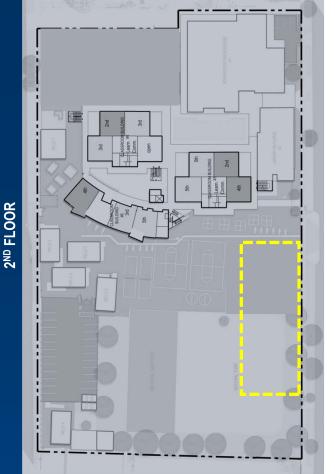












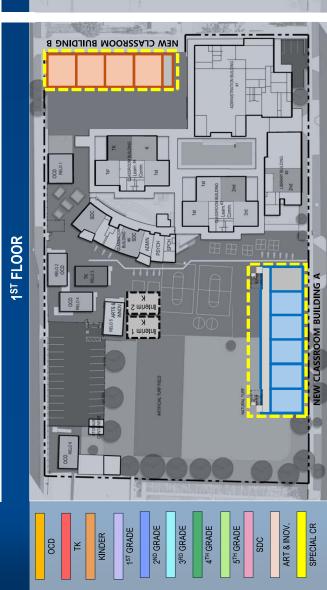
- Demolish kindergarten building #5
 - Demolish play areas

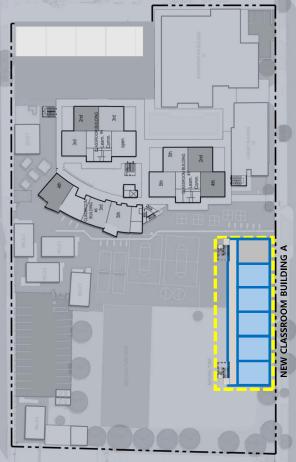






2ND FLOOR



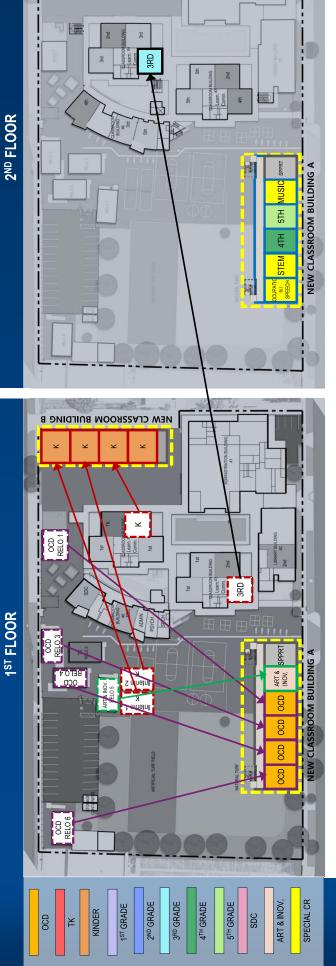


- Construct new building with (4) kinder classrooms
- Construct new building with (10) regular classrooms and additional spaces







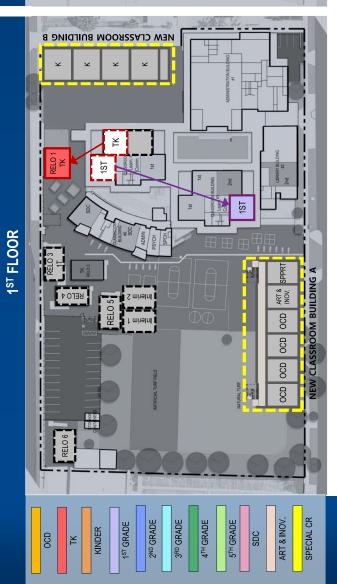


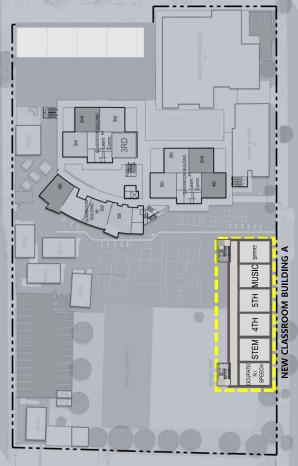
- Move (2) kinder CRs and (1) kinder CR to new classroom building B.
- Place (1) additional kinder CR in new classroom building B.
- Move (4) OCD from relos to 1st floor of new classroom building A.
- Move (1) Art to 1st floor of new classroom building A.
- Place (1) additional 4th grade CR, (1) additional 5th grade additional CR, and CRs for other programs on the 2nd floor of new classroom building A.
 - Move (1) 3rd grad CR from bldg. #3 to the 2nd floor of bldg. #4





2ND FLOOR





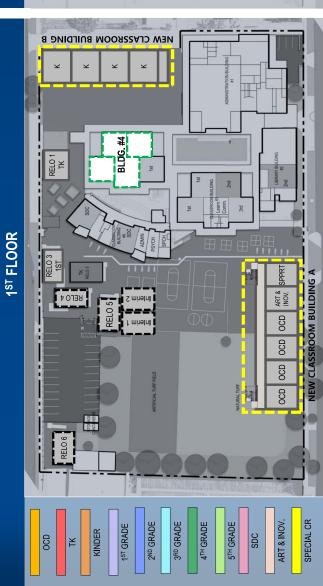
- Move (1) TK CR from bldg. #4 to relo building.
- Move (1) 1ST grade CR from bldg. #4 to bldg. #3.

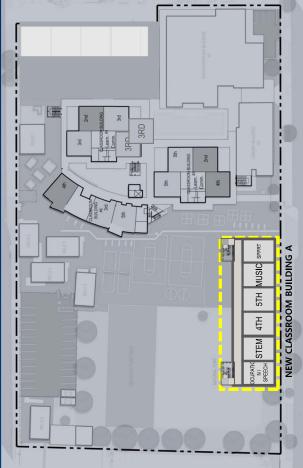






2ND FLOOR





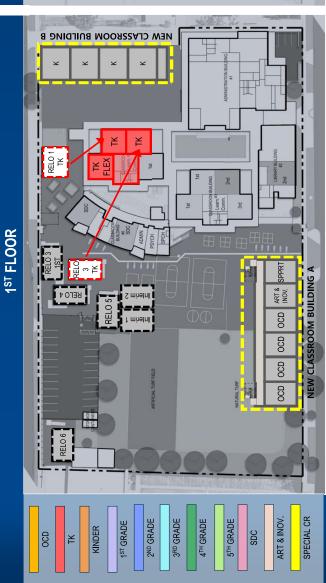
Modernize bldg. #4 to accommodate (3) TK CRs

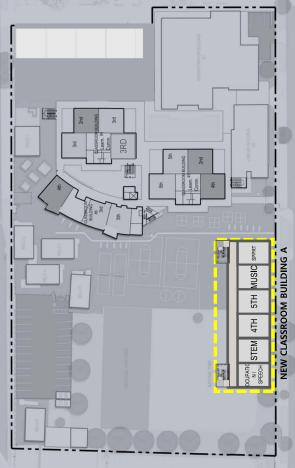






2ND FLOOR





- Move (2) TK CRs from relo building to bldg. #4.
 - Place (1) TK flexible CR in bldg. #4.

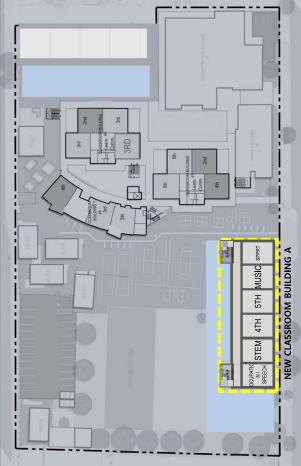






2ND FLOOR



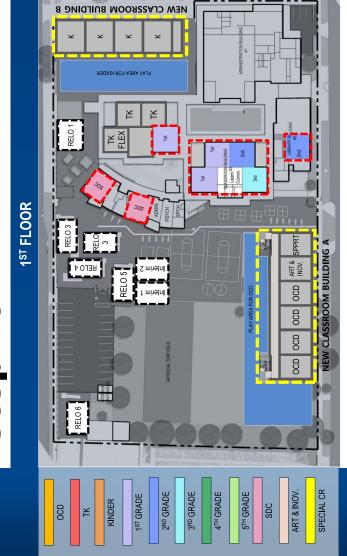






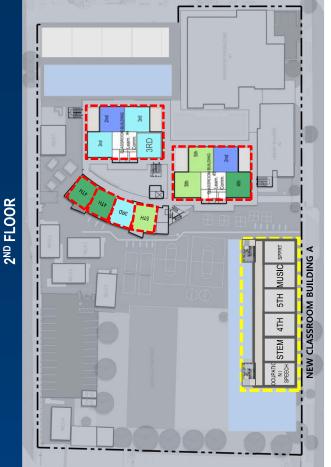






- Modernize total (18) CRs using (8) relo buildings as interim
- Reorganize grade levels for grade level adjacencies.





Total CRs to be modernized

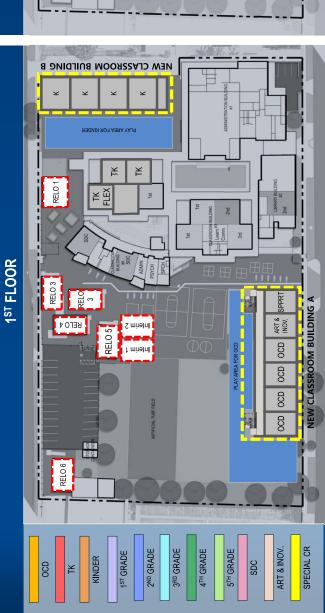
- (4) 1st grade

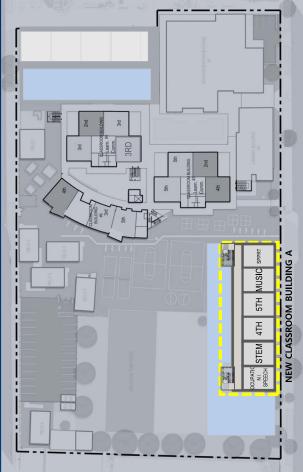
- (4) 2nd grade (4) 3rd grade (3) 4th grade (3) 5th grade





2ND FLOOR





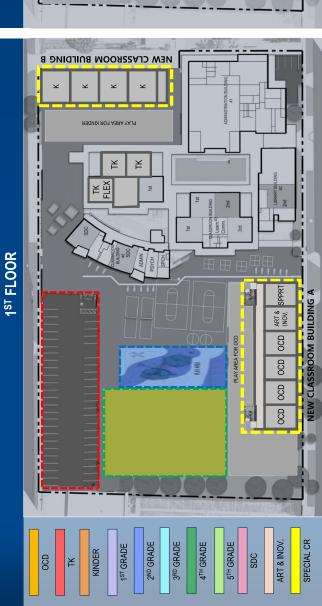


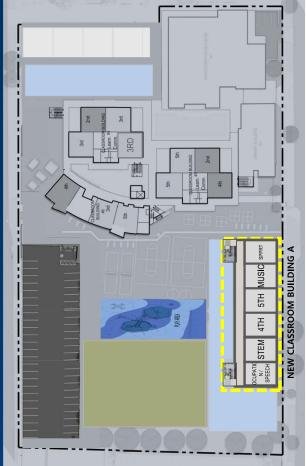






2ND FLOOR







Build new play area Extend the parking lot





Linwood E. Howe Elementary School Completion











Project Meeting Report



tBP/Architecture 4611 Teller Avenue Newport Beach, CA 92660

Meeting Date: 1/15/2025 (Updates noted in **bold italics**)

Project: Linwood E. Howe Elementary School

Culver City Unified School District

Present: Dana Miller CCUSD – Director of MOT

Ilona Gergi - OCD Preeti D'souza - Telacu

Ian McCullenAssistant PrincipalRobin Murran-Linwood TeacherDaniella Liber-Linwood TeacherSteven AcostaTechnology Technician

Karen Ho - Parent Lacey Banis - Parent Kristen Cruise - Parent Nati Soffer - Parent

Gary Moon - tBP/Architecture Bob Demmond - tBP/Architecture

PURPOSE OF THE MEETING

To continue the programming phase discussions.

DISCUSSION

- 1. Overview of Previous Meeting:
 - a. Option 1 the (8) Classroom 2-story building and the new 1-story kindergarten building was the preferred option for campus.
 - b. The OCD entry and building preferred to be located off Van Buren Place.
 - a. Discussed having OCD immediately adjacent to Van Buren Place.
 - b. Consider relocating OCD to first floor of existing "newer" two-story building.
 - Need to confirm as-built conditions to allow for OCD classrooms.
 - c. OCD currently shares the playground with the rest of campus, and this is not desired.
 - a. Committee indicated that playground area adjacent to new building along Irving Place takes away too much space from general play area.
 - d. TK and kindergarten classrooms must be on the first floor.
 - a. Committee indicated that they would like OCD, TK and Kindergarten classrooms to be in same area of campus.
 - b. Would require relocating 1st and 2nd grade classrooms.
 - e. Drop-off zones desired along Irving Place and Van Buren Place.

- f. Resource rooms are needed, art, music, STEM, occupational therapy, and speech.
 - a. Discussed Music room to be a multi-function room. Confirm with site if built-in instrument storage is required.
- g. The turf area should be extended to the proposed parking lot.
 - a. Committee indicated the existing mature trees along fence line adjacent to District Office parking lot are to be maintained.
 - b. Need to maximize parking to meet campus needs.
 - Coordinate with site access and fire access requirements.
- h. Shade structure over existing lunch area.
 - a. Discussed options with committee. Custom option with retractable fabric covering a possibility.
 - b. Hard roof option with skylights would not require fire sprinklers.
- 2. Quick-Start Projects:
 - a. Shade structure the allow area for the shade structure is 2,420 s.f. This would cover most of the lunch area. The shade structure per code needs to be a minimum of 5'-0" from any existing building.
 - b. The team requested some retractable options, The site does not want the entire lunch area always shaded.
 - c. The shade structure is only to provide shade, not water resistant.
 - d. tBP should keep in mind that students should not be able to jump on top of the shade from the adjacent second floor balcony. Also, the view from the balcony shall not be blocked.
- 3. Chosen Option:
 - The option chosen at the previous meeting was Option 1, which provided a new 2-story (8) classroom building along Irving Place and a 1-story Kindergarten building perpendicular to Van Buren Place adjacent to alley.
 - a. The site needs (3) TK classrooms (1350 s.f.) and (4) kindergarten classrooms and needs to remodel the existing kindergarten classrooms for conversion to
 - TK classrooms.
 - Committee asked for cost estimate to best understand if design direction can be accomplished within allocated funding.
 - b. OCD & TK need to be on the first floor of the building.
 - Committee discussed relocating OCD and TK to existing buildings adjacent to proposed Kindergarten building.
 - Expand OCD play area(s) between edible gardens and parking.
 - c. The existing playground areas are being replaced.
 - Need to confirm topographic grades for accessibility requirements.
 - d. The team is concerned about losing 2/3 of the green space and the site needs the green space. The number of parking stalls can be reduced to provide more green space.
 - Committee asked for comparison of playground area with other schools in the District—desire equity.

- e. tBP shall provide options to maximize the green space and check the square footages of the green space noted on the plan.
 - tBP presented site options 1-A thru 1-E.
 - tBP to refine Site Option 1-A
- f. Artificial turf shall be used for the green space.
- g. The option of having the building above the parking lot is too expensive.
- h. The team would like to see an option for lighter colored hardcourts.
- i. Per the Ed Specs, the classrooms shall be around a common space.

4. Development Options:

- a. The playground for the OCD needs to be fenced off from the rest of the campus.
 - a. A separate OCD playground is a desire, not a need. Staggered play times can accommodate OCD playground needs.
 - Two-year-olds and three-year-olds cannot co-mingle.
 - Three-year-olds and TK cannot co-mingle.
- b. tBP is to provide options for the learning commons / break out spaces.
- c. Pros and cons for the L-shaped building shall be provided to the team for review.
- d. The L-shaped building shall be located next to the District Office.
- e. The team would like to see options for the green space, play areas, and building locations.

a. Committee discussed relocating grade levels as needed to accommodate OCD and TK needs. tBP to study.

- f. tBP shall survey the campus to see how it is used.
- g. The chosen option building should be as thin and compact as possible up against Irving Place.
- h. Removing the warehouse and shifting the parking lot towards the district office would allow for more green space. The District will check if that is possible.
- i. OCD desires to have a separate site entrance for parent drop-off and pick-up.
- 5. Phases & Master Plan:
 - a. The master plan shows the other phases for the future projects for the site.
 - b. tBP is only contracted to do phase 1.
 - c. The team wants to ensure there is a master plan that works for the site, best use of the space and site.
- 6. Inspiration Boards:
 - **a.** From the inspiration boards presented at our previous meeting, tBP developed some building massing for review and comment.
 - b. The building massing for the new classroom building along Irving Place and its relationship to the play / green area and the parking lot was presented.
 - c. Views from different angles were presented for the proposed building location.
 - d. The massing is not the final building design.
 - e. The kindergarten building was presented, and the flat roof option was preferred, since it will be easier to maintain.
 - f. Solar will be part of this project since it is required by code.
- 7. Action Items:
 - a. tBP shall provide site plan options that maximize the green space.

Linwood E. Howe Elementary School Culver City USD 1/15/25 Page 4

- b. tBP to provide an option with the new building pushed up against the District Office side of the site.
 - a. This option is not feasible as it would displace existing mature trees to remain in place.
- c. tBP is to provide a site plan reducing the parking lot to allow for more green space.
- d. The OCD playground size requirement shall be confirmed for their licensing.
 - a. OCD to share playground with TK and Kindergarten.
- e. The site wants to see the type of trees that will be proposed for the project to ensure they do not drop fruit.
- 8. Next Meeting:
 - a. The next meeting is scheduled for 2/5, 3:30-5pm.

The above notes document our understanding of items discussed in the above-mentioned meeting. Unless written notice to the contrary is received within 7 days, the notations will be considered correct and acceptable.

Prepared by: Bob Demmond, tBP/Architecture

DISTRIBUTION

District for distribution, Design Team, File

ATTACHMENTS

Sign-In Sheet

Presentation

■ Project Meeting Attendance

tBP/Architecture

4611 Teller Avenue

Newport Beach, CA 92660



Architecture Planning Interiors Management

Date:

1/15/2025

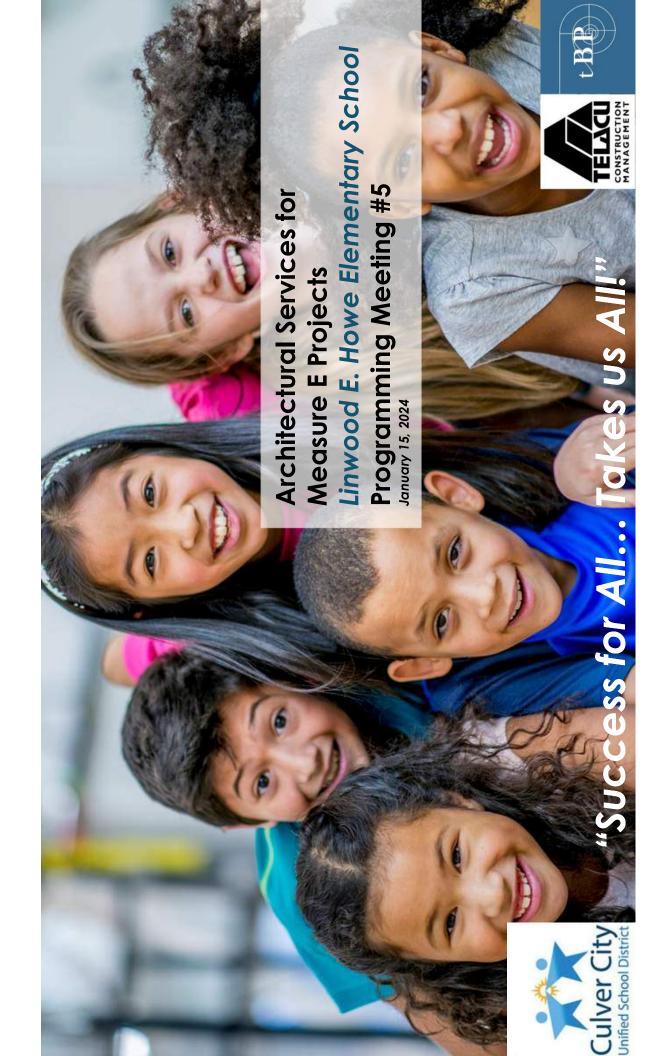
Project:

Linwood Elementary School

Meeting:

Attendees:

Name	Organization/ litie/ Department
Robin Murran	Lin Wood Teacher
Lacey Banis	Parent
Kristen Chise	Parent
Karan Ito	Linuxed parent
Daniella Liber	Teacher
Ian Mc Cullen	Assistant Principal
Steven Acosta	Technolog technician
Ilona Gergi	OCD
PREETI D'SOUZA	TELACU.
Nati Soffer	Parant
Jan 12	D MOT



Linwood E. Howe Elementary School **Previous Meeting**

- Shade structure the allow area for the shade structure is 2,420 s.f. This would cover most of the lunch area. The shade structure per co de needs to be a minimum of 5'-0" from any existing building.
 - The team requested some retractable options, The site does not want the entire lunch area always shaded
 - The shade structure is only to provide shade, not water resistant.
- tBP should keep in mind that students should not be able to jump on top of the shade from the adjacent second floor balcony. Also, the v iew from the balcony shall not be blocked.

Sent email to Britanny asking for the information

he option chosen at the previous meeting was Option B, which provided a new 2-story (8) classroom building along Irving Place and a 1-stor y Kindergarten building perpendicular to Van Buran Place.

- The site needs (2) TK classrooms (1350 s.f.) and (3) kindergarten classrooms and need to remodel the existing kindergarten classro oms. Don't they need an extra flexible TK classroom
- OCD & TK need to be on the first floor of the building. OK
- The existing playground areas are being replaced.
- The team is concerned about losing 2/3 of the green space and the site needs the green space. The number of parking stalls can be reduced to provide more green space. Showed the area of the green space and play area on the plans.
 - tBP shall provide options to maximize the green space and check the square footages of the green space noted on the plan

Prepared more site plan options

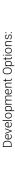
- Artificial turf shall be used for the green space. OK ä.
- The option of having the building above the parking lot is too expensive.
 - The team would like to see an option for lighter colored hardcourts.
- Per the Ed Specs, the classrooms shall be around a common space.







Linwood E. Howe Elementary School **Previous Meeting**



The playground for the OCD needs to be fenced off from the rest of the campus.

a. The next meeting is sche

Next Meeting:

duled for January 15th at

3:30 p.m.

- b. tBP is to provide options for the learning commons / break out spaces.
- c. Pros and cons for the L-shaped building shall be provided to the team for review.
 - The L-shaped building shall be located next to the District Office
- The team would like to see options for the green space, play areas, and building locations.
 - f. tBP shall survey the campus to see how it is used.
- The chosen option building should be as thin and compact as possible up against Irving Place.
- Removing the warehouse and shifting the parking lot towards the district office would allow for more green space. The District will check if

Phases & Master Plan:

- a. The master plan shows the other phases for the future projects for the site.
- b. tBP is only contracted to do phase 1.
- The team wants to ensure there is a master plan that works for the site, best use of the space and site.

Inspiration Boards:

- From the inspiration boards presented at our previous meeting, tBP developed some building massing for review and comment.
- The building massing for the new classroom building along Irving Place and its relationship to the play / green area and the parking lot was
- . Views from different angles were presented for the proposed building location.
 - d. The massing is not the final building design.
- The kindergarten building was presented, and the flat roof option was preferred, since it will be easier to maintain.
- The kindergarten building was presented, and the flat roof
 Solar will be part of this project since it is required by code.

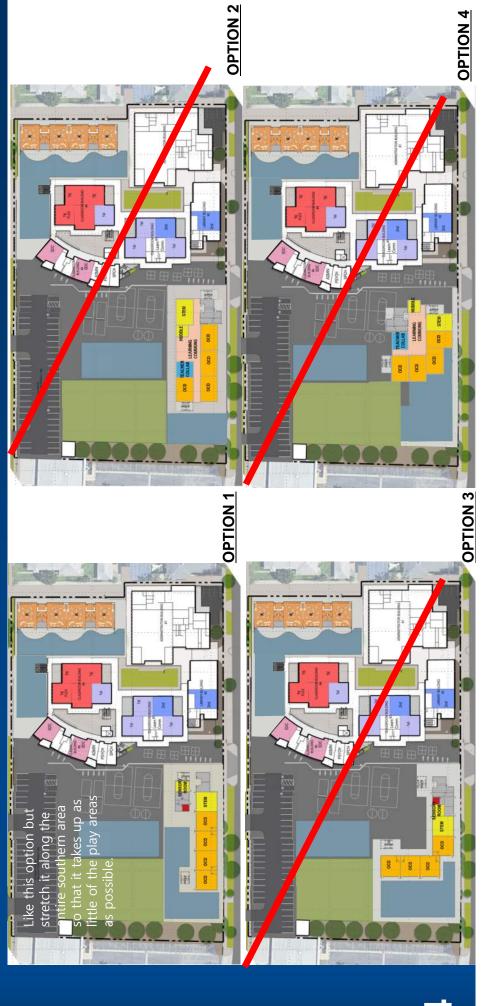
1. Action Items

- a. tBP shall provide site plan options that maximizes the green space. Prepared options
- tBP to provide an option with the new building pushed up against the District Office side of the site
 - c. tBP is to provide a site plan reducing the parking lot to allow for more green space.
- d. The OCD playground size requirement shall be confirmed for their licensing. Showed
- The site wants to see the type of trees that will be proposed for the project to ensure they do not drop fruit. Landscape Architect

LBP.



Option Development from the previous meeting Linwood E. Howe Elementary School



Outdoor Facility Recommendation





Recommended Outdoor Facility Space (75sf per child)

CLASSROOM BUILDING A (4) OCD * 20 students = 80 children 80 children * 75 sf = **6,000 sf** CLASSROOM BUILDING B
(3) TK * 20 students = 60 children
(4) Kinder CR * 24 students = 96 children 156 children * 75 sf = **11,700 sf**





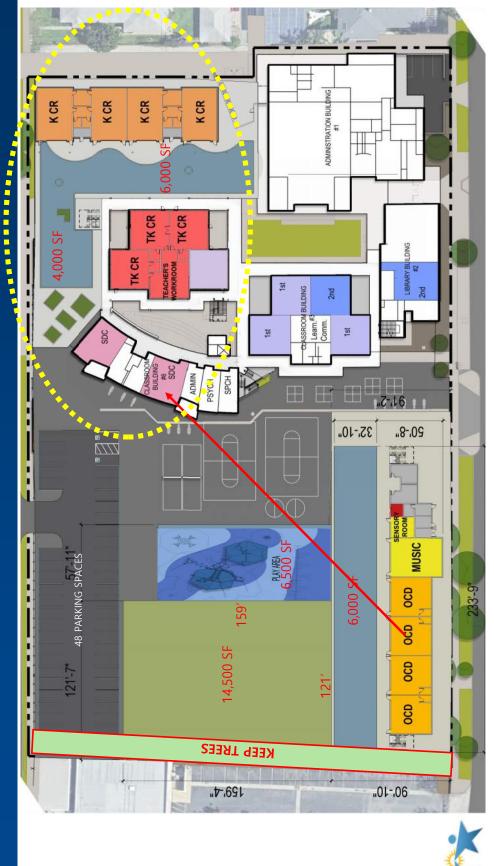






Linwood E. Howe Elementary School Site Option A

TO CREATE OCD/TK/KINDER CLUSTER AROUND THE PROGRAM ELEMENTS PREFER THIS OPTION, BUT CHANGE WITH SHARED PLAY AREA



ART & INOV. SPECIAL CR

5TH GRADE

SDC

2ND GRADE 3RD GRADE 4™ GRADE

1ST GRADE

KINDER

OCD ¥



t.B.P

t.B.P

Linwood E. Howe Elementary School Site Option A

PREFER THIS OPTION, DEVELOP LIKE BELOW.





ART & INOV.

5TH GRADE

SDC

1ST GRADE

KINDER

00 ¥ 3RD GRADE

Linwood E. Howe Elementary School Site Option A - Aerial NE



Site Option A - Aerial SW ART & INOV. 2ND GRADE 3RD GRADE 4™ GRADE 5[™] GRADE KINDER

Linwood E. Howe Elementary School

t.B.P

Linwood E. Howe Elementary School Site Option B





ART & INOV.

5[™] GRADE

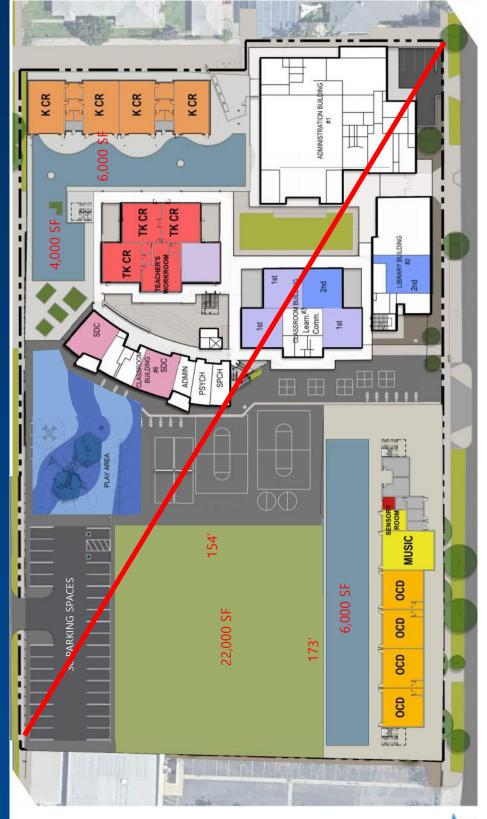
2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER

t.B.P

Linwood E. Howe Elementary School Site Option C





ART & INOV.

5[™] GRADE

2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER

OCD

CB3

Linwood E. Howe Elementary School Site Option D





ART & INOV.

5[™] GRADE

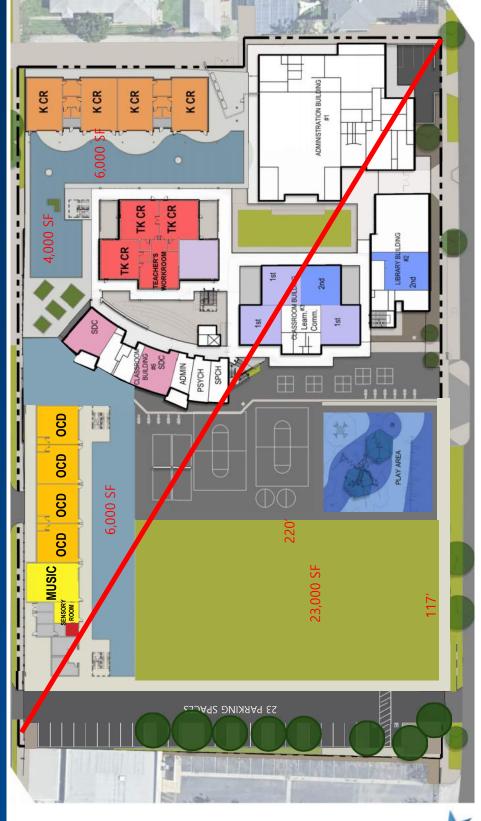
2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER

t.B.B.

Linwood E. Howe Elementary School Site Option E





ART & INOV.

2ND GRADE 3RD GRADE 4TH GRADE

5[™] GRADE

1ST GRADE

KINDER

OCD

Linwood E. Howe Elementary School Site Option E – Aerial NE



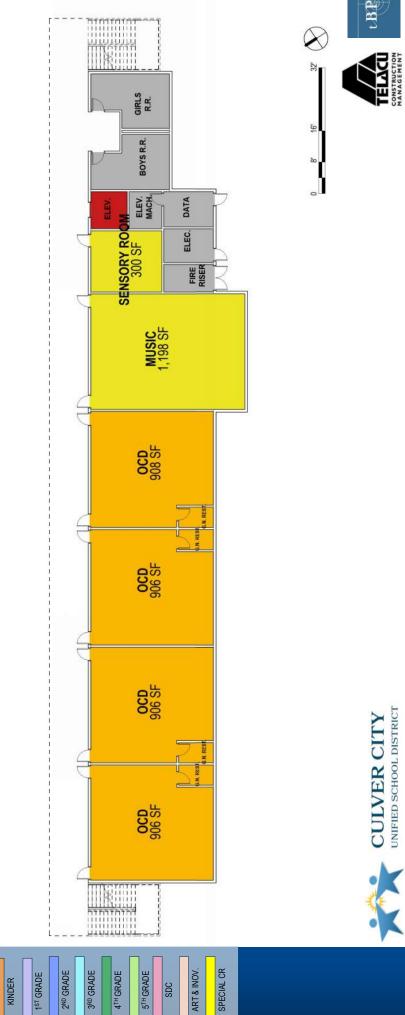
Site Option E - Aerial SW ART & INOV. 4™ GRADE 2ND GRADE 3RD GRADE 5TH GRADE

Linwood E. Howe Elementary School

Linwood E. Howe Elementary School **New Classroom Building A**

1st Floor Plan

OCD ¥







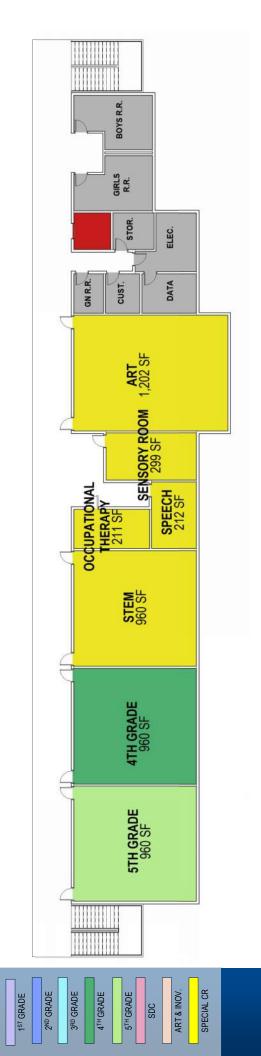


Linwood E. Howe Elementary School **New Classroom Building A**

2nd Floor Plan

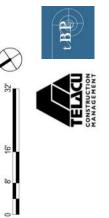
KINDER

OCD ¥



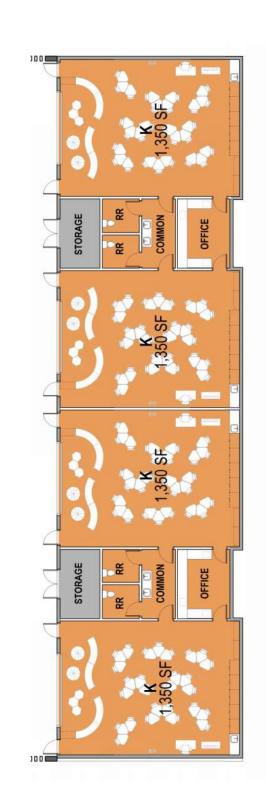






Linwood E. Howe Elementary School **New Classroom Building B**

Floor Plan



ART & INOV.

SPECIAL CR

5TH GRADE

SDC

3RD GRADE

1ST GRADE

KINDER







Existing Classroom Building #4 - Modernization Linwood E. Howe Elementary School

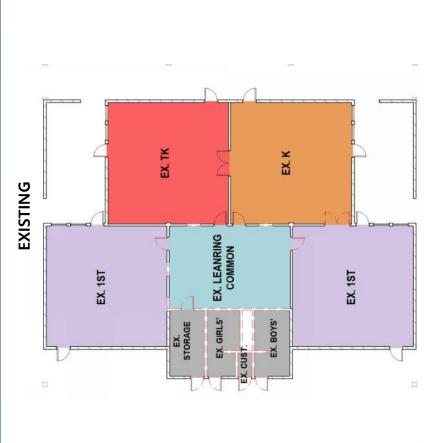
Floor Plan

1ST GRADE

KINDER

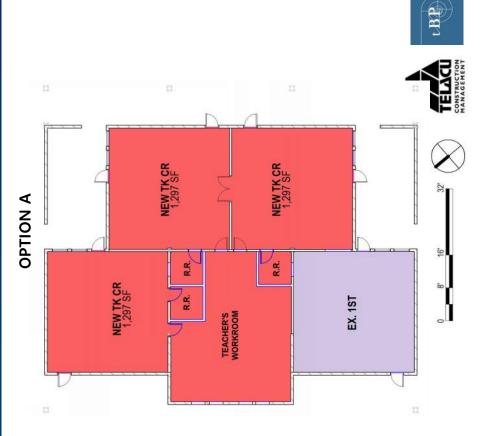
OCD

2ND GRADE 3RD GRADE 4™ GRADE



ART & INOV. SPECIAL CR

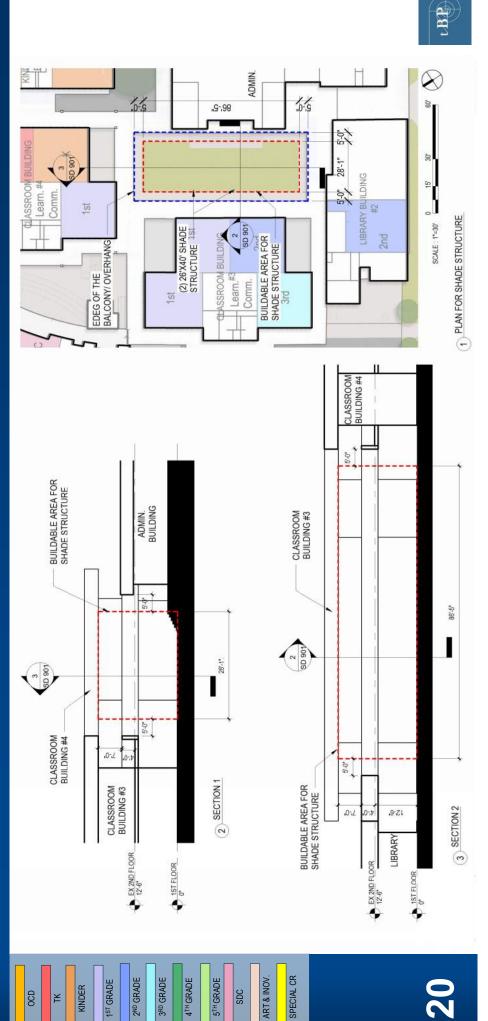
5TH GRADE



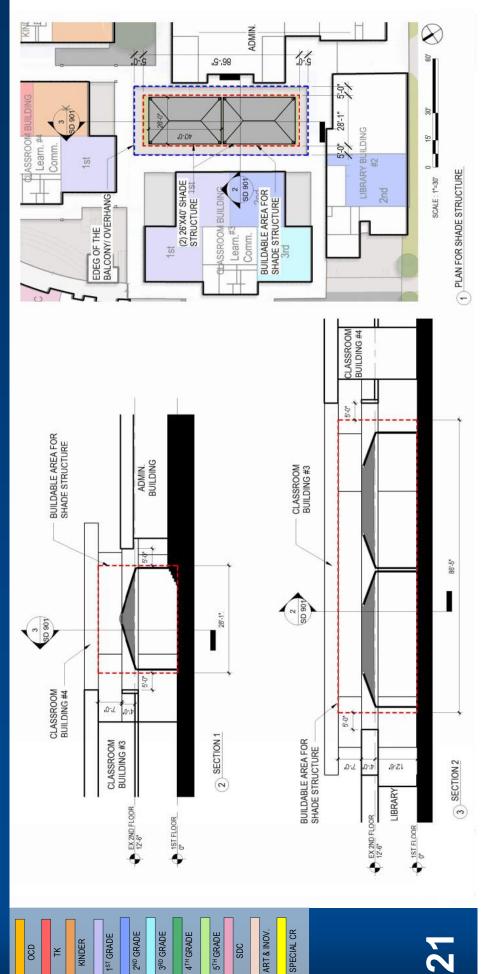




Linwood E. Howe Elementary School **Shade Structure**

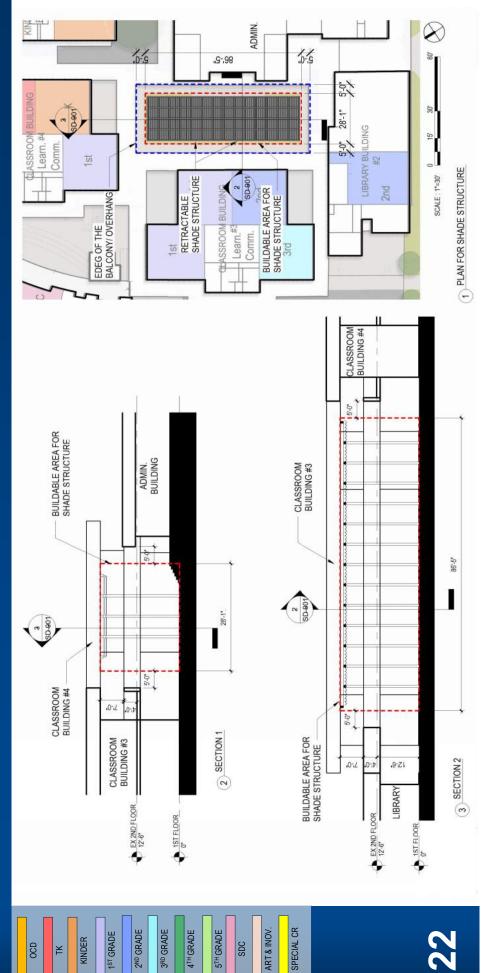


Shade Structure 28' X 40' (DSA Pre-Approved) Linwood E. Howe Elementary School



t.B.P

Shade Structure Retractable Fabric Linwood E. Howe Elementary School





t.B.P

Linwood E. Howe Elementary School Shade structure options









SPECIAL CR

t.B.P

Linwood E. Howe Elementary School Hard Court Color – Current





SPECIAL CR

ART & INOV.

2ND GRADE

1ST GRADE

KINDER

4TH GRADE

5TH GRADE

t.B.B

Linwood E. Howe Elementary School **Hard Court Color - Option 1**





ART & INOV.

5TH GRADE

2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER

t.B.B

Linwood E. Howe Elementary School Hard Court Color - Option 2





SPECIAL CR

ART & INOV.

5TH GRADE

2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER



Thank you

Linwood E. Howe Elementary School





Project Meeting Report



tBP/Architecture 4611 Teller Avenue Newport Beach, CA 92660

Meeting Date: 2/5/2025 (Updates noted in **bold italics**)

Project: Linwood E. Howe Elementary School

Culver City Unified School District

Programming Meeting #5

Present: Santha Rajiv CCUSD

Dana Miller CCUSD - DMOT

Ilona Gergi - OCD
Preeti D'Souza - Telacu
Stephany Chavez Telacu
Casey Chabola Principal

lan McCullen Assistant Principal
Daniella Liber - Linwood Teacher

Karen Ho - Parent Nati Soffer - Parent

Hung Cheng tBP/Architecture
Gary Moon - tBP/Architecture
Bob Demmond - tBP/Architecture

PURPOSE OF THE MEETING

To continue the programming phase discussions.

DISCUSSION

- 1. Overview of Previous Meeting:
 - a. Option 1 the (8) Classroom 2-story building and the new 1-story kindergarten building was the preferred option for campus.
 - b. The OCD entry and building preferred to be located off Van Buren Place.
 - a. Discussed having OCD immediately adjacent to Van Buren Place.
 - b. Consider relocating OCD to first floor of existing "newer" two-story building.
 - Need to confirm as-built conditions to allow for OCD classrooms.
 - c. OCD currently shares the playground with the rest of campus, and this is not desired.
 - a. Committee indicated that playground area adjacent to new building along Irving Place takes away too much space from general play area.
 - d. TK and kindergarten classrooms must be on the first floor.
 - a. Committee indicated that they would like OCD, TK and Kindergarten classrooms to be in same area of campus.
 - b. Would require relocating 1st and 2nd grade classrooms.
 - e. Drop-off zones desired along Irving Place and Van Buren Place.

- f. Resource rooms are needed, art, music, STEM, occupational therapy, and speech.
 - a. Discussed Music room to be a multi-function room. Confirm with site if built-in instrument storage is required.
- g. The turf area should be extended to the proposed parking lot.
 - a. Committee indicated the existing mature trees along fence line adjacent to District Office parking lot are to be maintained.
 - b. Need to maximize parking to meet campus needs.
 - Coordinate with site access and fire access requirements.
- h. Shade structure over existing lunch area.
 - a. Discussed options with committee. Custom option with retractable fabric covering a possibility.
 - b. Hard roof option with skylights would not require fire sprinklers.

2. Quick-Start Projects:

- a. Shade structure the allow area for the shade structure is 2,420 s.f. This would cover most of the lunch area. The shade structure per code needs to be a minimum of 5'-0" from any existing building.
- b. The team requested some retractable options, The site does not want the entire lunch area always shaded.
- c. The shade structure is only to provide shade, not water resistant.
- d. tBP should keep in mind that students should not be able to jump on top of the shade from the adjacent second floor balcony. Also, the view from the balcony shall not be blocked.
- e. No quick-start projects needed. Site does have a desire to see campus repainted.

3. Chosen Option:

The option chosen at the previous meeting was Option 1, which provided a new 2-story (8) classroom building along Irving Place and a 1-story Kindergarten building perpendicular to Van Buren Place adjacent to alley.

- a. The site needs (3) TK classrooms (1350 s.f.) and (4) kindergarten classrooms and needs to remodel the existing kindergarten classrooms for conversion to TK classrooms.
 - Committee asked for cost estimate to best understand if design direction can be accomplished within allocated funding.
- b. OCD & TK need to be on the first floor of the building.
 - Committee discussed relocating OCD and TK to existing buildings adjacent to proposed Kindergarten building.
 - Expand OCD play area(s) between edible gardens and parking.
 - OCD Enrollment: 64 children housed in 3 classrooms (24/24/16).
 - a. Need flex room to allow for OCD growth in future.
 - b. 4th OCD room to be designated as Flex TK/OCD room.
 - c. OCD license does not allow for OCD designated rooms to be shared with school. TK designated rooms can be shared with OCD if TK enrollment is down, and OCD enrollment is up—within licensed capacity.
- c. The existing playground areas are being replaced.
 - Need to confirm topographic grades for accessibility requirements.

- d. The team is concerned about losing 2/3 of the green space and the site needs the green space. The number of parking stalls can be reduced to provide more green space.
 - Committee asked for comparison of playground area with other schools in the District—desire equity.
- e. tBP shall provide options to maximize the green space and check the square footages of the green space noted on the plan.
 - tBP presented site options 1-A thru 1-E.
 - tBP to refine Site Option 1-A
- f. Artificial turf shall be used for the green space.
- g. The option of having the building above the parking lot is too expensive.
- h. The team would like to see an option for lighter colored hardcourts.
- i. Per the Ed Specs, the classrooms shall be around a common space.

4. Development Options:

- a. The playground for the OCD needs to be fenced off from the rest of the campus.
 - a. A separate OCD playground is a desire, not a need. Staggered play times can accommodate OCD playground needs.
 - Two-year-olds and three-year-olds cannot co-mingle.
 - Three-year-olds and TK cannot co-mingle.
- b. tBP is to provide options for the learning commons / break out spaces.
- c. Pros and cons for the L-shaped building shall be provided to the team for review.
- d. The L-shaped building shall be located next to the District Office.
- e. The team would like to see options for the green space, play areas, and building locations.
 - a. Committee discussed relocating grade levels as needed to accommodate OCD and TK needs. tBP to study.
- f. tBP shall survey the campus to see how it is used.
- g. The chosen option building should be as thin and compact as possible up against Irving Place.
- h. Removing the warehouse and shifting the parking lot towards the district office would allow for more green space. The District will check if that is possible.
- i. OCD desires to have a separate site entrance for parent drop-off and pick-up.

5. Phases & Master Plan:

- a. The master plan shows the other phases for the future projects for the site.
- b. tBP is only contracted to do phase 1.
- c. The team wants to ensure there is a master plan that works for the site, best use of the space and site.

6. Inspiration Boards:

- a. From the inspiration boards presented at our previous meeting, tBP developed some building massing for review and comment.
- b. The building massing for the new classroom building along Irving Place and its relationship to the play / green area and the parking lot was presented.
- c. Views from different angles were presented for the proposed building location.
- d. The massing is not the final building design.

Linwood E. Howe Elementary School Culver City USD 2/5/25 Page 4

- e. The kindergarten building was presented, and the flat roof option was preferred, since it will be easier to maintain.
- f. Solar will be part of this project since it is required by code.

7. Action Items:

- a. tBP shall provide site plan options that maximize the green space.
- b. tBP to provide an option with the new building pushed up against the District Office side of the site.
 - a. This option is not feasible as it would displace existing mature trees to remain in place.
- c. tBP is to provide a site plan reducing the parking lot to allow for more green space.
- d. The OCD playground size requirement shall be confirmed for their licensing.
 - a. OCD to share playground with TK and Kindergarten.
- e. The site wants to see the type of trees that will be proposed for the project to ensure they do not drop fruit.
- f. Programming phase completed. Schematic design phase to start once budget reconciliation is completed and approved by District.

8. Scope of Work

- a. Reviewed scope plan with committee.
 - a. Discussed desire to eliminate natural turf at play areas due to maintenance concerns.
 - b. Artificial turf to be expanded within general play area, replace existing artificial turf and mow curb.
 - c. SDC rooms to have dedicated restrooms inside rooms.
 - d. OCD relocation to require modernization of existing rooms and adjacent restrooms.
 - e. Rooftop OLE option discussed. Will be evaluated within budget reconciliation.
 - No restrooms at rooftop acceptable.

9. Next Meeting:

a. Next meeting to be scheduled by Telacu once budget reconciliation is completed with District.

The above notes document our understanding of items discussed in the above-mentioned meeting. Unless written notice to the contrary is received within 7 days, the notations will be considered correct and acceptable.

Prepared by: Bob Demmond, tBP/Architecture

DISTRIBUTION

District for distribution, Design Team, File

ATTACHMENTS

Sign-In Sheet

Presentation

■ Project Meeting Attendance

tBP/Architecture

4611 Teller Avenue

Newport Beach, CA 92660



Architecture Planning Interiors Management

Date: 2/5/25
Project: L/Navos Howe

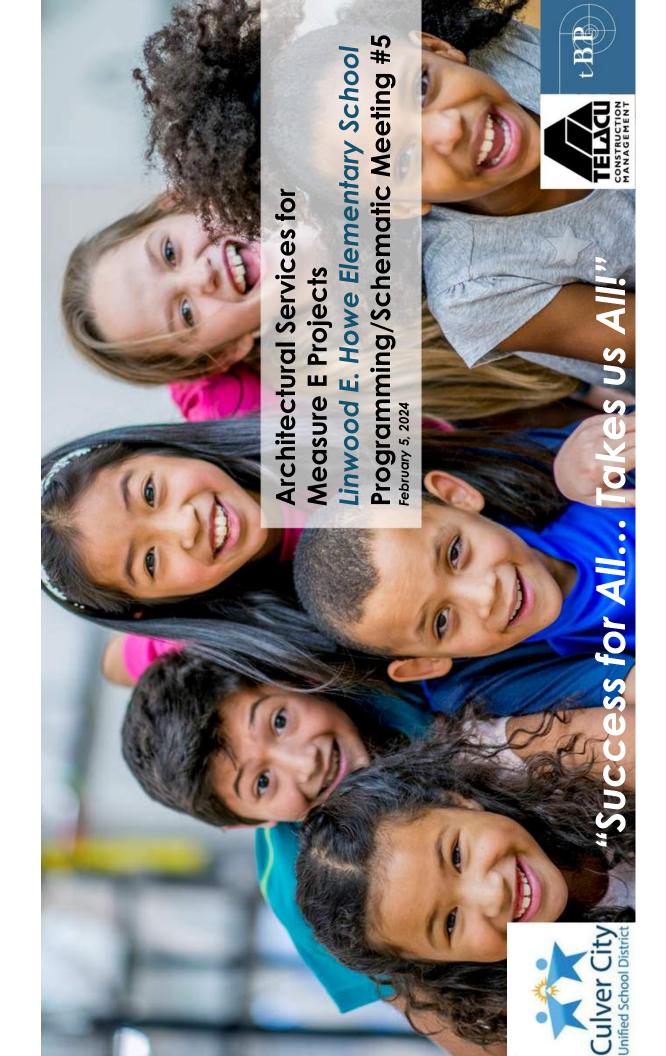
Meeting: PNGNAMMING #5

Attendees:

Name

Organization/ Title/ Department

Nati Soffer.	- Parent
Karen Ho	Parent
CASEY CHABOLA	Principal
Ian Mc Cullen	
Daniella Liber	L. H. Teacher
Stephany Charez	TELACU
PREETI D'SOU	TELACU "
Ilona Gergi	OCD
VAM L Miller	auso pmot
HUNG CHENG	TBP/mat
CARY NOON	TBP/MOH
BOB DEMMOND	TBP/MRCH
Santha Rajin	CCUSD.





Linwood E. Howe Elementary School Agenda

Final Programming

- 1. Enrollment & Required Classrooms
- 2. Scope of Work 3. Grade level play areas

Schematic Design

- Previous notes/plans
 Floor Plans updates
 Roof plan option
 Massing updates





FINAL PROGRAMMING

Linwood E. Howe Elementary School



Student Enrollment and Required Classrooms Linwood E. Howe Elementary School

			Total stud	clas		-	reduest)											
				Notes		3 the school requested (1) additional TK	for future growth Should have 4 (request)									requested by the school	1 requested by the school	
			Total Number of Classrooms for	the future	34	4 3	+	4	4	4	4	4	4	2	-	-	1	3
		Number of additional	Classrooms requested by the	school		•										_	1	
			Number of additional Classrooms needed	based on Enrollment				-				1	1					
to include nt			Number of Existing	Classrooms	3 4	2		3	4	4	4	3	3	2	1			9.1
Add in new column to 2024-2025 enrollment	School	Number of	Classrooms required per	Enrollment	3 4	2		4	4	4	4	4	4	2	1			1
Add in n / 2024-202	Elementary :		Number of tudents per	Classroom	1:241:20	1:20		1:24	1:24	1:24	1:24	1:28	1:28					
	HOWE		2023-2	Enrollm		77		69	/8	92	91	89	87	13				
	LINWOOD E. HOWE Flementary School			Grade Er	ОСО	¥		×	Grade 1	Grade 2	Grade 3	Grade 4	Grade 5	SDC	Art	Music	Stem	

112

96

96 96 96

dent capacity in

ssrooms

*This table shows only classroom spaces



Note: Any request for additional space may beco me incorporated into new construction. For now, plan for future expansion.



Linwood E. Howe Elementary School

OCD Enrollment per school based on license

					FY2024-45 Jan	FY2023-24 Jan	FY2018-19 Jan
Location	License Number Effective Date Total Capacity	Effective Date	Total Capacity	Capacity	Enrollment	Emrollment	Enrollment
CEE 1, 2, 3	191670678	5/11/1994	99	20,20,16	0,15,13	8,7,10	20,20,16
CEE 7, 8	197409416	8/23/2002	40	24,16	23,10	19,0	24, 16
Farragut (CEE 5)	197411733	7/19/2004	24	24	13	14	24
Farragut (CEE6)	197413159	11/22/2005	24	24	14	13	8 + SPED children
El Marino	191609388	6/30/1993	24	24	23	18	24
El Rincon	197401919	12/6/1995	24	24	23	14	24
La Ballona	191609390	6/30/1993	64	16,24,24	14,20,10	13, 15, 16	16,22AM 24PM,21
Linwood Howe	191609392	12/6/1995	64	24,16,24	0,0,14	13, 0, 11	24,16,24





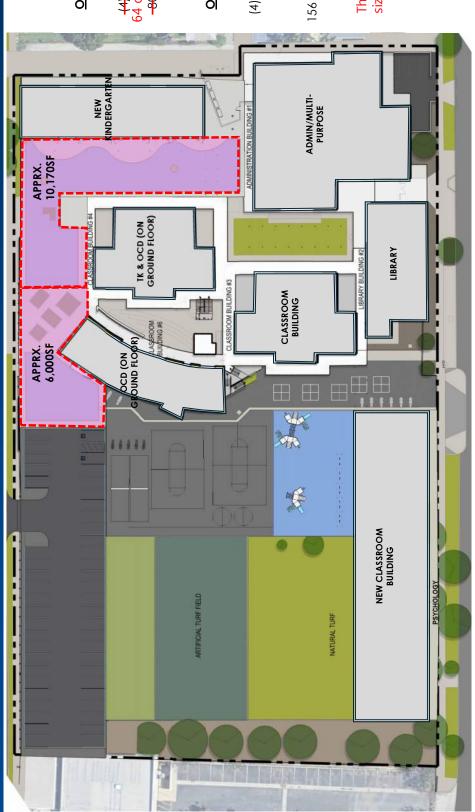


Linwood E. Howe Elementary School **Scope of Work**

Will need to modernize classrooms to include a restroom in OCD



Outdoor Activity Space: OCD/TK/K Linwood E. Howe Elementary School



OUTDOOR ACTIVITY SPACE
(75sf per child)

(4) OCD × 20 = 80 children 64 children X 75 sf = 4800 sf -80 children × 75 sf = **6,000 sf** (PROVIDED = **6,000 SF**)

OUTDOOR ACTIVITY SPACE
(75sf per child)

(4)KINDER \times 24 = 96 children (3) TK \times 20 = 60 children Total 156 children 156 children × 75 sf= **11,700 sf** (**PROVIDED** = **10,170 SF**)

The outdoor activity area sizes are acceptable.





Linwood E. Howe Elementary School Play Area Comparison





Existing Site Plan









SCHEMATIC DESIGN

Linwood E. Howe Elementary School



Linwood E. Howe Elementary School

Previous Meeting

- 1. Overview of Previous Meeting:
- a. Option 1 the (8) Classroom 2-story building and the new 1-story kindergarte n building was the preferred option for campus.
- The OCD entry and building preferred to be located off Van Buren Place.
- a. Discussed having OCD immediately adjacent to Van Buren Place.
 b. Consider relocating OCD to first floor of existing "newer" two-story building.
 - Need to confirm as-built conditions to allow for OCD class
- c. OCD currently shares the playground with the rest of campus, and this is not d
- a. Committee indicated that playground area adjacent to new building along I
 rving Place takes away too much space from general play area.
 - d. TK and kindergarten classrooms must be on the first floor.
- a. Committee indicated that they would like OCD, TK and Kindergarten classr ooms to be in same area of campus.
- b. Would require relocating 1st and 2nd grade classrooms.
- e. Drop-off zones desired along Irving Place and Van Buren Place.
 f.
- Resource rooms are needed, art, music, STEM, occupational therapy, and speech.
- Discussed Music room to be a multi-function room. Confirm with site if bui It-in instrument storage is required.
- The turf area should be extended to the proposed parking lot.

6

- a. Committee indicated the existing mature trees along fence line adjacent to District Office parking lot are to be maintained.
- Need to maximize parking to meet campus needs.
- Shade structure over existing lunch area.

 a. Discussed options with committee. Custom option with retractable fabric c

Coordinate with site access and fire access requirements.

overing a possibility.
b. Hard roof option with skylights would not require fire sprinklers.

- 2. Quick-Start Projects:
- a. Shade structure the allow area for the shade structure is 2,420 s.f. This woul d cover most of the lunch area. The shade structure per code needs to be a mi nimum of 5'-0" from any existing building.
 - The team requested some retractable options, The site does not want the entire lunch area always shaded.
- c. The shade structure is only to provide shade, not water resistant.
- d. tBP should keep in mind that students should not be able to jump on top of the
 e shade from the adjacent second floor balcony. Also, the view from the balco
 nv shall not be blocked.

Linwood E. Howe Elementary School **Previous Meeting**

3. Chosen Option:

The option chosen at the previous meeting was Option 7, which provided a new 2-s tory (8) classroom building along Irving Place and a 1-story Kindergarten building p erpendicular to Van Buren Place adjacent to alley.

- The site needs (3) TK classrooms (1350 s.f.) and (4) kindergarten class rooms and needs to remodel the existing kindergarten classrooms for c
- Committee asked for cost estimate to best understand if d esign direction can be accomplished within allocated fund inc
- OCD & TK need to be on the first floor of the building.
- Committee discussed relocating OCD and TK to existing b uildings adjacent to proposed Kindergarten building.
 - Expand OCD play area(s) between edible gardens and par
- The existing playground areas are being replaced.
- Need to confirm topographic grades for accessibility requirements.
- . The team is concerned about losing 2/3 of the green space and the site needs the green space. The number of parking stalls can be reduced to provide more green space.
- Committee asked for comparison of playground area with other schools in the District—desire equity.
- quare footages of the green space noted on the plan.
 tBP presented site options 1-A thru 1-E.

tBP shall provide options to maximize the green space and check the s

- tBP to refine Site Option 1-A
- Artificial turf shall be used for the green space.
- The option of having the building above the parking lot is too expensive.
 - . The team would like to see an option for lighter colored hardcourts.
 - i. Per the Ed Specs, the classrooms shall be around a common space.

- 4. Development Options:
- The playground for the OCD needs to be fenced off from the rest of the camp
- A separate OCD playground is a desire, not a need. Staggered play times c an accommodate OCD playground needs.
 - Two-year-olds and three-year-olds cannot co-mingle.
 - Three-year-olds and TK cannot co-mingle.
- tBP is to provide options for the learning commons / break out spaces.
- Pros and cons for the L-shaped building shall be provided to the team for revie w
- The L-shaped building shall be located next to the District Office.
- The team would like to see options for the green space, play areas, and buildin g locations.
 - a. Committee discussed relocating grade levels as needed to accommodate OCD and TK needs. tBP to study.
 - tBP shall survey the campus to see how it is used.
- g. The chosen option building should be as thin and compact as possible up aga inst Irving Place.
 - Removing the warehouse and shifting the parking lot towards the district office would allow for more green space. The District will check if that is possible.
 - i. OCD desires to have a separate site entrance for parent drop-off and pi ck-up.
- 5. Phases & Master Plan:
- a. The master plan shows the other phases for the future projects for the site.
 - tBP is only contracted to do phase 1.
- c. The team wants to ensure there is a master plan that works for the site, best u se of the space and site.

Linwood E. Howe Elementary School **Previous Meeting**

6. Inspiration Boards:

- From the inspiration boards presented at our previous meeting, tBP develope d some building massing for review and comment.
- The building massing for the new classroom building along Irving Place and it s relationship to the play / green area and the parking lot was presented
- Views from different angles were presented for the proposed building location
- The massing is not the final building design.

0 ď

- The kindergarten building was presented, and the flat roof option was preferre d, since it will be easier to maintain.
 - Solar will be part of this project since it is required by code

- tBP shall provide site plan options that maximize the green space.
- tBP to provide an option with the new building pushed up against the District Office side of the site.
- This option is not feasible as it would displace existing mature trees to rem
- tBP is to provide a site plan reducing the parking lot to allow for more green sp ain in place.
- The OCD playground size requirement shall be confirmed for their licensing. 0
 - a. OCD to share playground with TK and Kindergarten.
- The site wants to see the type of trees that will be proposed for the project to ensure they do not drop fruit.

8. Next Meeting:

The next meeting is scheduled for 2/5, 3:30-5pm.







Linwood E. Howe Elementary School **Previous Meeting**

SELECTED PLAN OPTION A FROM 01/15

OPTION A MARK-UPS





Plan Option A was selected to be refined.







Linwood E. Howe Elementary School **Existing Floor Plans**













Linwood E. Howe Elementary School Campus Plan – 1st Floor (New)

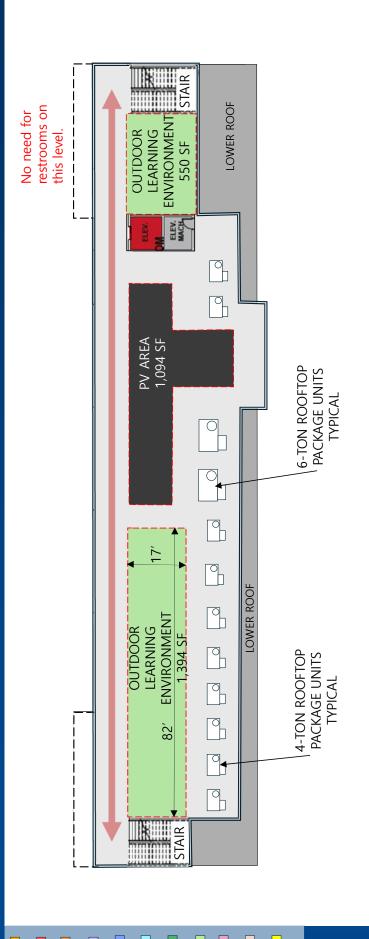
This room will be a flex room not OCD.



Linwood E. Howe Elementary School Campus Plan - 2nd Floor (New)



Linwood E. Howe Elementary School **Roof Plan Option**



2ND GRADE

3RD GRADE 4™ GRADE

1ST GRADE

KINDER

000 ¥ ART & INOV.

5TH GRADE

SDC

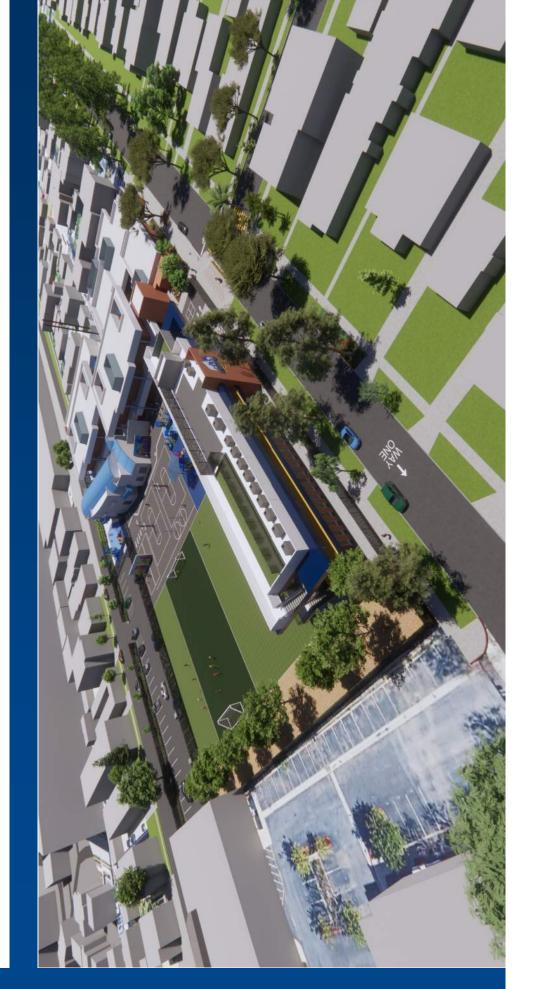
SPECIAL CR



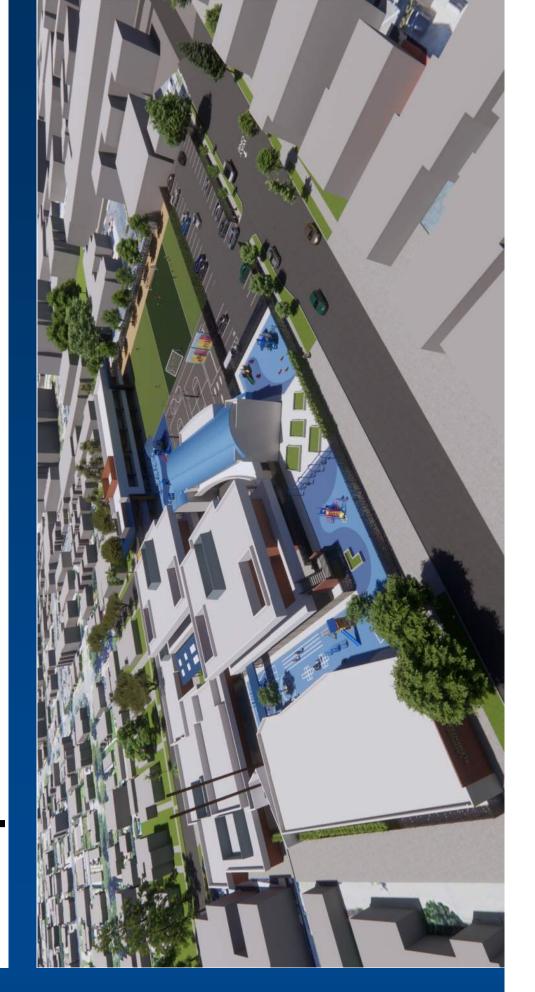




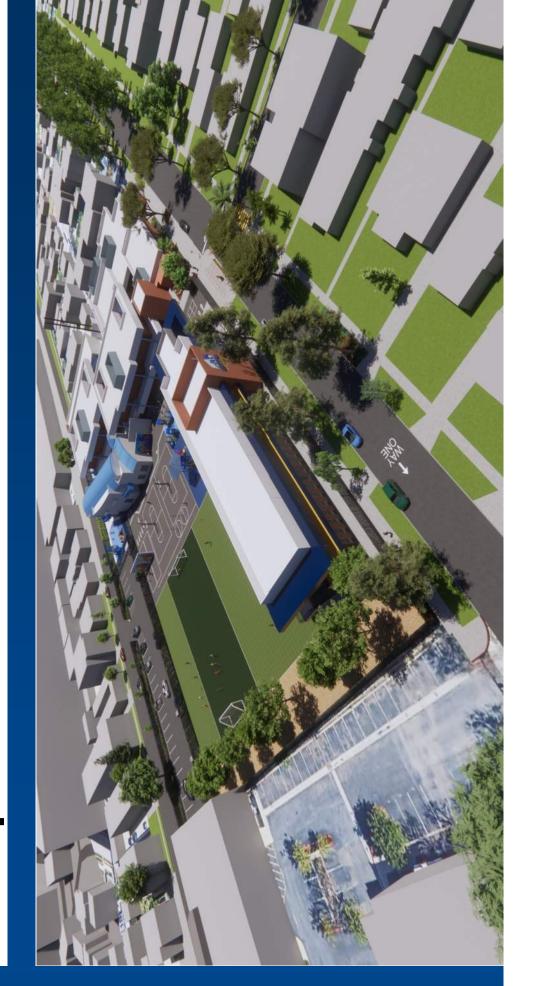
Linwood E. Howe Elementary School Roof Plan Model



Linwood E. Howe Elementary School Site Option Aerial NE



Linwood E. Howe Elementary School Site Option Aerial SW



Linwood E. Howe Elementary School **New Classroom Building A**

		Culver Linwood Ne	City Unified d E. Howe El w Classroon	Culver City Unified School District Linwood E. Howe Elementary School New Classroom Building A
Room Name	Quantity	ASE	Total Area	SeloN
1st Floor	francons		Bon mo.	politika.
Regual Classroom	-	960	096	
Music classroom	-	1,200	-	
SDC	2	096	1,920	Add restroom in each classroom
Psychology	-	300	300	
Admin	-	300	300	
Speech	-	300	300	
Sensory room	-	300	300	
2nd Floor	4			
Regual Classroom	က	960	2,880	
Art classroom	-	1,200	1,200	
Sensory room	-	300	300	
Occupational Therapy	-	200	200	
Speech Therapy	-	200	200	
Support				
Electrical	-	100		
Data	-	100		
Restroom	2	300		
Custodial	-	80		
Elevator Machine room		90		
Elevator	-	06		
Fireriser	-	09		
Total			10.060	

ART & INOV.

5[™] GRADE

SDC

SPECIAL CR

2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER

OCD







Linwood E. Howe Elementary School **New Classroom Building A**

1st Floor Plan

2ND GRADE

3RD GRADE 4TH GRADE

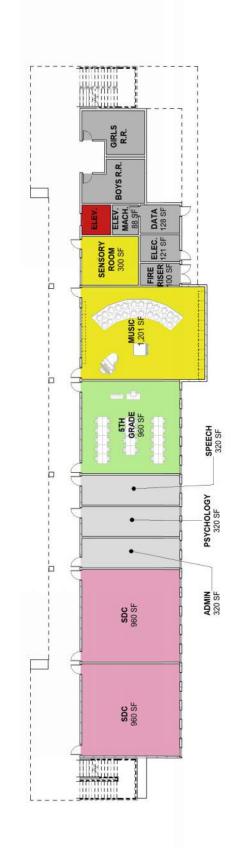
1ST GRADE

KINDER

00 ¥ ART & INOV.

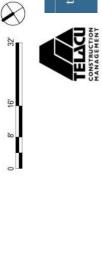
5TH GRADE

SDC





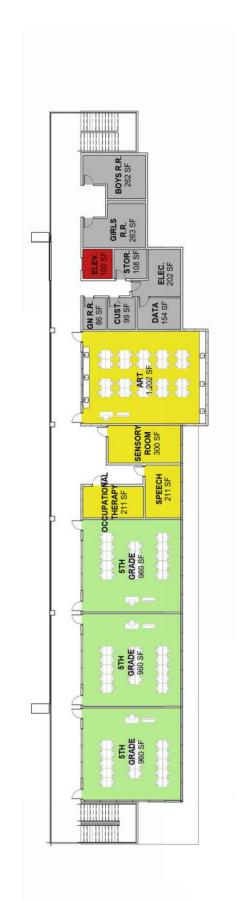




LBB.

Linwood E. Howe Elementary School **New Classroom Building A**

2nd Floor Plan



4TH GRADE

5TH GRADE

SDC

ART & INOV. SPECIAL CR

2ND GRADE 3RD GRADE

1ST GRADE

KINDER

OCD ¥





LBB.

TELACTION MANAGEMENT

8, 16,





Linwood E. Howe Elementary School **New Classroom Building B**

		Culver Linwood Nev	City Unified I E. Howe E # Classrool	Culver City Unified School District Linwood E. Howe Elementary School New Classroom Building B
Room Name	Quantity	ASF	Total Area	Notes
Kinder classroom	4	1,350	5,400	
- Restroom	2			Part of the classroom, (1) per classroom or, (2) can be shared by 2 classrooms, direct access from the classroom
- Commual handwash area	-			Part of the classroom, handsink in the restroom or, (2) handsink in common handwash area shared by 2 classrooms, direct access from the classroom
OCD	-			Part of the classroom, shared by 2 classrooms, direct access from the classroom
- Storage	-			Part of the classroom shared by 2 classrooms
Electrical/ Data	-	100		
Total	L		5,400	

2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER

OCD





ART & INOV.

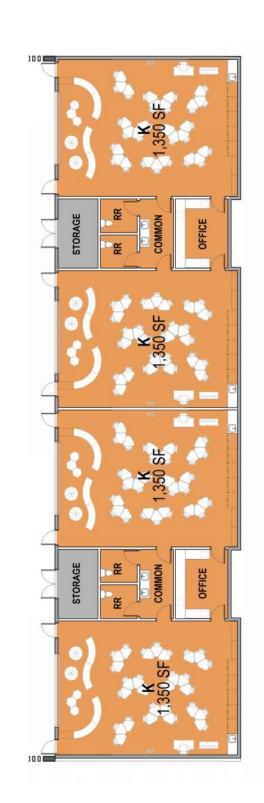
SPECIAL CR

5[™] GRADE

SDC

Linwood E. Howe Elementary School **New Classroom Building B**

Floor Plan



ART & INOV.

SPECIAL CR

5TH GRADE

SDC

3RD GRADE

1ST GRADE

KINDER







Existing Classroom Building #4 - Modernization Linwood E. Howe Elementary School

		Culver	City Unifie	Culver City Unified School District Linwood E. Howe Elementary School
			Modernization	ization
Room Name	Quantity	ASF	Total Area	Notes
Building #4				
TK classroom	m	1,350	4,050	4,050 Convert the CRs to TK CRs
- Restroom	ო			Part of the classroom 1 per classroom
- Teacher work space	+			Part of the classroom shared by 3 classrooms
OCD	-	096	096	960 Convert the CRs to OCD
- Restroom	-			Part of the classroom
Total			5,010	
Building #6				
1st Floor				
000	က	096	2,880	2,880 Convert the CRs to OCD
Total			2,880	

2ND GRADE 3RD GRADE 4TH GRADE

1ST GRADE

KINDER

OCD

ART & INOV. SPECIAL CR

5TH GRADE

SDC







Linwood E. Howe Elementary School

Existing Classroom Building #4 - Modernization

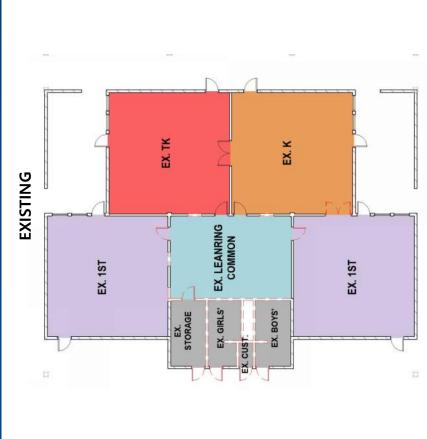
Floor Plan

1ST GRADE

KINDER

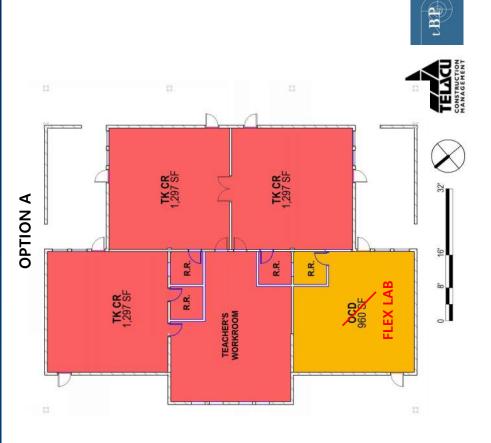
OCD

2ND GRADE 3RD GRADE 4™GRADE



ART & INOV. SPECIAL CR

5TH GRADE









Thank you

Linwood E. Howe Elementary School



